



Municipal Planning & Design Review Commission
Regular Meeting Agenda
Thursday, June 11, 2026, 5:30 PM
City Hall, Lakeland, Tennessee 38002

- I. CALL TO ORDER:
- II. ROLL CALL:
- III. APPROVAL OF MINUTES OF PREVIOUS MEETING:
 1. **Regular Meeting Minutes** - May 14, 2026
- IV. PUBLIC DISCUSSION:
- V. REPORTS OF OFFICERS AND COMMITTEES:
- VI. UNFINISHED BUSINESS:
- VII. NEW BUSINESS:
 1. **Action** - approval of a Site Plan Application for Absolute Storage.
- VIII. ANNOUNCEMENTS:
- IX. ADJOURNMENT:

Municipal Planning & Design Review Commission
Regular Meeting Agenda Minutes
Thursday, May 14, 2026, 5:30 PM
City Hall, Lakeland, Tennessee 38002

I. CALL TO ORDER:

The meeting was called to order by Jason Eaton 5:33 p.m. on Thursday, May 14, 2026.

II. ROLL CALL:

Adam Henry	Present
Amber Hitchcock	Present
Shawn Rowland	Present
Sal Feraci	Present
Carl Helton	Present
Jason Eaton	Present
Bill Sheridan	Absent
Cat Wright	Absent
Commissioner Jim Atkinson	Absent

Staff personnel in attendance were City Manager Emily Harrell, Planning Director Paul Luker, Staff Planner Alex Barthol and Community Development Specialist Lisa West.

III. APPROVAL OF MINUTES OF PREVIOUS MEETING:

1. **Regular Meeting Minutes** - April 9, 2026

Sal Fercai moved to bring this item to the floor, seconded by Adam Henry.

Discussion ensued.

When the question was called the meeting minutes passed as presented, voice vote, 6 in favor 0 against 0 abstain (6-0-0).

IV. PUBLIC DISCUSSION:

None.

V. REPORTS OF OFFICERS AND COMMITTEES:

None.

VI. UNFINISHED BUSINESS:

None.

VII. NEW BUSINESS:

1. **Action** - approval of a revised site plan for landscaping for Dutch Bros Coffee.

Sal Feraci moved to bring this item to the floor, seconded by Shawn Rowland.

Staff Planner Alex Barthol presented this item.

Discussion ensued.

Adam Henry moved to approved site plan without conditions, seconded by Sal Feraci.

When the question was called the revised site plan passed as presented, roll call vote, 6 in favor 0 against 0 abstain (6-0-0).

Yea: Adam Henry, Shawn Rowland, Amber Hitchcock, Carl Helton, Sal Feraci, Jason Eaton

Nay: None

Abstain: None

2. **Action** - approval for the subdivision Final Plat at Brunswick Commercial property on Highway 64.

Sal Feraci moved to bring this item to the floor, seconded by Adam Henry.

Staff Planner Alex Barthol presented this item.

Discussion ensued.

Sal Feraci moved to approve final plat without conditions, seconded by Shawn Rowland.

When the question was called the Final Plat passed as presented, roll call vote, 6 in favor 0 against 0 abstain (6-0-0).

Yea: Adam Henry, Shawn Rowland, Amber Hitchcock, Carl Helton, Sal Feraci, Jason Eaton

Nay: None

Abstain: None

3. **Action** - approval of the site plan for Common Open Space C and H site plan at the Willows at the Lake.

Sal Feraci moved to bring this item to the floor, seconded by Amber Hitchcock.

Staff Planner Alex Barthol presented this item.

Discussion ensued.

Chet Winstead, from A2H representing developer REV3 answered questions of the board.

Sal Feraci moved to approve site plan without conditions, seconded by Adam Henry.

When the question was called the site plan passed as presented, roll call vote, 6 in favor 0 against 0 abstain (6-0-0).

Yea: Adam Henry, Shawn Rowland, Amber Hitchcock, Carl Helton, Sal Feraci, Jason Eaton

Nay: None

Abstain: None

4. **Action** - approval of a Preliminary Plat for the Lakeland Meadows Planned Development Phase II.

Shawn Rowland moved to bring this item and item 5 to the floor, seconded by Sal Feraci.

Staff Planner Alex Barthol presented this item.

Discussion ensued.

David Bray from The Bray Firm representing developer Valleybrook, answered questions of the board.

Adam Henry moved to approve the preliminary plat without conditions, seconded by Amber Hitchcock.

When the question was called the preliminary plat passed as presented, roll call vote, 6 in favor 0 against 0 abstain (6-0-0).

Yea: Adam Henry, Shawn Rowland, Amber Hitchcock, Carl Helton, Sal Feraci, Jason Eaton

Nay: None

Abstain: None

5. **Action** - approval of a Final Plat for the Lakeland Meadows Planned Development Lots A and B.

Shawn Rowland moved to bring this item and item 5 to the floor, seconded by Sal Feraci.

Staff Planner Alex Barthol presented this item.

Discussion ensued.

David Bray from The Bray Firm representing developer Valleybrook, answered questions of the board.

Amber Hitchcock moved to approve the final plat without conditions, seconded by Adam Henry.

When the question was called the final plat passed as presented, roll call vote, 6 in favor 0 against 0 abstain (6-0-0).

Yea: Adam Henry, Shawn Rowland, Amber Hitchcock, Carl Helton, Sal Feraci, Jason Eaton

Nay: None

Abstain: None

6. **Action** - approval recommendation to the Board of Commissioners to adopt the street scape text amendment proposed in the Highway 70 Corridor study.

Sal Feraci moved to bring this item to the floor, seconded by Shawn Rowland.

Planning Director Paul Luker presented this item.

Discussion ensued.

Sal Feraci moved to recommend approval to the Board of Commissioners, seconded by Shawn Rowland.

When the question was called the approval passed as presented,

roll call vote, 6 in favor 0 against 0 abstain (6-0-0).

Yea: Adam Henry, Shawn Rowland, Amber Hitchcock, Carl Helton, Sal Feraci, Jason Eaton

Nay: None

Abstain: None

VIII. ANNOUNCEMENTS:

None.

IX. ADJOURNMENT:

There being no other business on which to act, the meeting was adjourned without objection at 6:18pm on Thursday, May 14, 2026.

These minutes were approved on June 11, 2026.

Carl Helton
Secretary

ATTEST:

Rebecca Hume
City Recorder

Meeting Date: Thursday, June 11, 2026
Project: Absolute Storage – Site Plan Application
Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Parcel ID: L0159 00618 & L0159 00617
Zoning District: C-2 (Regional Commercial) PD Overlay
Site Area: 5.01 acres
Applicant: Absolute Storage Investment, LLC
Representative: Cory Brady (ils – Integrated Land Solutions, PLLC)

STAFF RECOMMENDATION

City Staff recommends approval of the Site Plan application for Absolute Storage as submitted.

BACKGROUND:

The Ashmont Planned Development located at the northwest corner of Canada Road and Davies Plantation Road was approved by the Board of Commissioners on June 9, 2022, via resolution R-43-2022. The Phase 1 Preliminary Development Plan was approved by the Municipal Planning Commission on December 14, 2023. The Phase 2 PDP was approved on February 8, 2024. The Phase 3 PDP was approved on January 9, 2025. The Final Development plan for the subject property was approved on June 12, 2025.

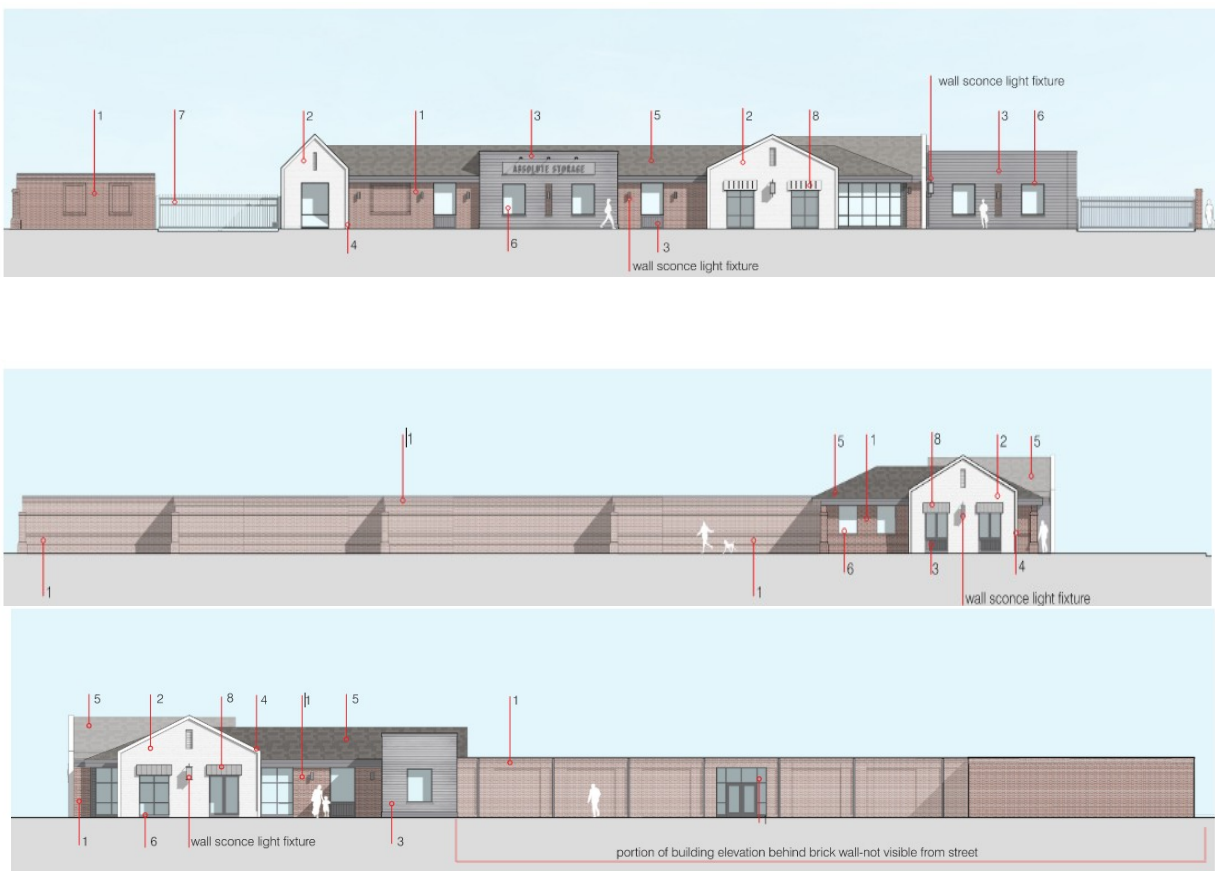
DISCUSSION:

This application is a request for approval by the Municipal Planning Commission of all site improvements including all civil work, site access, parking and circulations and site lighting as well as Design Review Commission approval of building elevations and landscaping. The proposed use is a single story storage facility. A total of five (5) buildings are proposed with a total of five hundred (500) units across 90,000 square feet of building space. Eighty (80) percent of the proposed units will be interior, climate-controlled units with the remaining twenty (20)

percent, roughly one hundred (100) units being perimeter secured units with inward facing access doors.

ELEVATIONS:

All elevations are proposed to consist of a brick veneer (Old Jefferson Red Brick-Statesville, Buff Mortar with White Sand), fiber cement board siding (grey and white) and architectural shingle roofing (Weathered Wood). The southeast elevation is intentionally designed to be an all-brick façade to match the brick wall placed on the north side. Because of extensive grade changes, the wall/fencing would not be feasible to continue south thus the need for this design choice. To the observer this design will act as a natural transition across Ashmont Village Drive and will include extensive landscaping to further continue the overall design aesthetic.



PARKING AND CIRCULATION:

All access to the site is provided off of Davies Plantation Road. A single access drive is proposed with gated access to the southern lot and one main entrance for customer and employee parking to the north with interior gates to the balance of the property. A total of eleven (11) parking spaces are proposed, two of which are accessible spaces, which is in line with what is required for the proposed use.

EXAMPLE MOTIONS

1. Motion to approve the Absolute Storage Site Plan Application without conditions.
2. Motion to approve the Absolute Storage Site Plan Application subject to the following conditions:
 - a. Conditions as determined by the Planning Commission
3. Motion to deny the Absolute Storage Site Plan Application:
 - a. Reason for denial



CITY OF LAKELAND
Application for Site Plan Approval

Case No. _____ Date of Application 05/16/2026

Name of Applicant Absolute Storage Investment, LLC (Attn: Michael Haugh)

Address 1630 Bonnie Lane, Ste 106. Cordova, TN 38016

Daytime Telephone Number (901) 490-9656 Fax Number _____

E-mail michael.haugh@absolutemgmt.com

Name of Property Owner Ashmont Developer, LLC

Address 355 Tara Ln. Memphis, TN 38111 Telephone Number (901) 489-5896

Name of Project Planning/Engineering Firm Integrated Land Solutions, PLLC

Name of Project Manager or Contact Person Cory Brady, PLA, AICP

Address 9967 Bentwood Creek Cv. Collierville, TN 38017

Telephone Number (901) 493-6996 Fax Number _____

E-mail corybrady@gmail.com

Name of Development Ashmont PD, Area 7B Parcel ID# _____

Location of Development Lot 7 & 8

Acreage 5.01 Acres Zoning District(s) C2 (PD Overlay) Multiple Phases? Check if YES

Total Gross Building Area 91,050sf Floor Area Ratio (FAR) .417 No. of Parking Spaces _____

Amount of Open Space 1.49 Acres Open Space as Percent of Total Acreage 29.8 %

Have any variances been granted by the Board of Zoning Appeals? N/A If yes, provide description and date(s).


Approval requested (Check One): Preliminary Final

Date of Preliminary Site Plan approval, if applicable _____

In general, the Municipal Planning Commission (MPC) meets the third Thursday of each month at 5:30 p.m. in the Board Chambers of City Hall, at 10001 Highway 70. See attached schedule for filing deadlines. Eight (8) copies of all required materials, in addition to the required filing fee shall be submitted to the City for staff review by the application deadline. Additional copies, as directed by staff, must be provided for Municipal Planning Commission agenda packets. Contact the City at 901-867-2717 to confirm deadline and meeting dates and times.


Applicants Signature

5-12-26
Date


Property Owners Signature (if different from applicant)

May 14. 2026
Date

CITY OF LAKELAND
10001 Highway 70
Lakeland, TN 38002
Office: (901) 867-2717 Fax: (901) 867-2063
www.lakelandtn.gov

PRE-APPLICATION CONFERENCE WITH CITY STAFF

The applicant or its designated design professional shall conduct a pre-application conference with City staff a minimum of thirty (30) days in advance of submitting a site plan and related documents for review and approval by the City.

A pre-application conference shall not be required for the submittal of a final site plan if a preliminary site plan has been submitted and has received approval by the Planning Commission. An applicant has the option of submitting an application for a final site plan to the Planning Commission that had not received prior approval of a preliminary site plan. In such instances, the applicant shall submit plan documents that conform to the plan submittal requirement for both a preliminary and final site plan and related documents.

EFFECTIVE PERIOD OF SITE PLANS

The preliminary site plan approval granted by the Planning Commission, including such conditions as may be a part of the record, shall be effective for a period of one (1) year from the date of approval granted by the Planning Commission. The applicant may request in writing an extension upon the effective period of the preliminary site plan approval from the Planning Commission for a period not to exceed one (1) year from date of expiration of approval of the initial approval of the preliminary site plan granted by the Planning Commission. The approval of an extension by the Planning Commission may be subject to providing revisions to the preliminary site plan in compliance with design standards adopted by the City since the initial approval of the preliminary site plan had been granted by the Planning Commission.

The final site plan approval granted by the Planning Commission, including such conditions as may be a part of the record, shall be effective for a period of one (1) year from the date of approval granted by the Planning Commission. The applicant may request in writing an extension upon the effective period of the final site plan approval from the Planning Commission for a period not to exceed one (1) year from date of expiration of approval of the initial approval of the final site plan granted by the Planning Commission. Any modifications to the final site plan may require reconsideration of approved site plan by the Planning Commission and/or the Design Review Commission.

updated 5/16/17

May 15, 2026

Paul Luker, AICP
Planning Director
City of Lakeland
10001 Highway 70
Lakeland, TN 38002

Re: Final Site Plan Application
Absolute Storage, Ashmont PD, Area 7B – Lots 7&8

Mr. Luker,

On behalf of the applicant and operator, Absolute Storage, LLC, I am requesting final site plan approval to permit the construction of an Absolute Storage facility on Lots 7 and 8 within Area B of the Ashmont Planned Development in accordance with all governing PD conditions and city regulations.

The proposed “self-storage” use is permitted by the Ashmont Planned Development subject to the various conditions and regulations outlined by the planned development text. Furthermore, PD condition II.B.Area 7B(b) stipulates *“any use listed as a conditional use [by city ordinance] shall be permitted by right in accordance with their respective conditional use criteria outlined in Section II.2.2.3 of the city's Land Development Regulations AND approved by the property owner's association”*.

The proposed Absolute Storage Final Site Plan complies with all development standards outlined in Section II.2.2.3(Z) of the City's Land Development Regulations and has received approval from the Ashmont PD Architectural Review Committee as stipulated. (1) All storage areas are located in a fully enclosed building, (2) all proposed lighting is directed away from adjacent residential uses, (3) the proposed surfaces including drive aisles, loading/unloading and the like, are constructed of asphalt, and (4) the proposed landscaping satisfies the City and PD's prescribed bufferyard requirements.

The enclosed Final Site Plan package represents the applicant's intent to construct and operate a fully enclosed, interior-access storage facility occupying two lots within the Ashmont Planned Development. The proposed facility will include a combined 90,000 square feet of gross building area encompassing 500 storage units ranging in size from 25 square feet to 360 square feet. Of the 500 proposed units, 80% will be interior, climate-controlled units, with the balance consisting of perimeter-secured units with inward-facing exterior doors. Operationally, the proposed Absolute Storage of Lakeland will employ two full-time management team members who will maintain standard office hours Monday through Friday, from 9:00 a.m. to 6:00 p.m., and Saturday, from 8:00 a.m. to 2:00 p.m. Customer access will be provided via individual PIN codes that will limit access to the hours of 6:00 a.m. to 10:00 p.m. Daily operations will be monitored through a network of security systems, including more than 30 security cameras, on-site fire protection, and other private security technologies. All noxious uses, hazardous material storage, and illegal activities are strictly prohibited under the terms of the customer lease.

INTEGRATED LAND SOLUTIONS, pllc

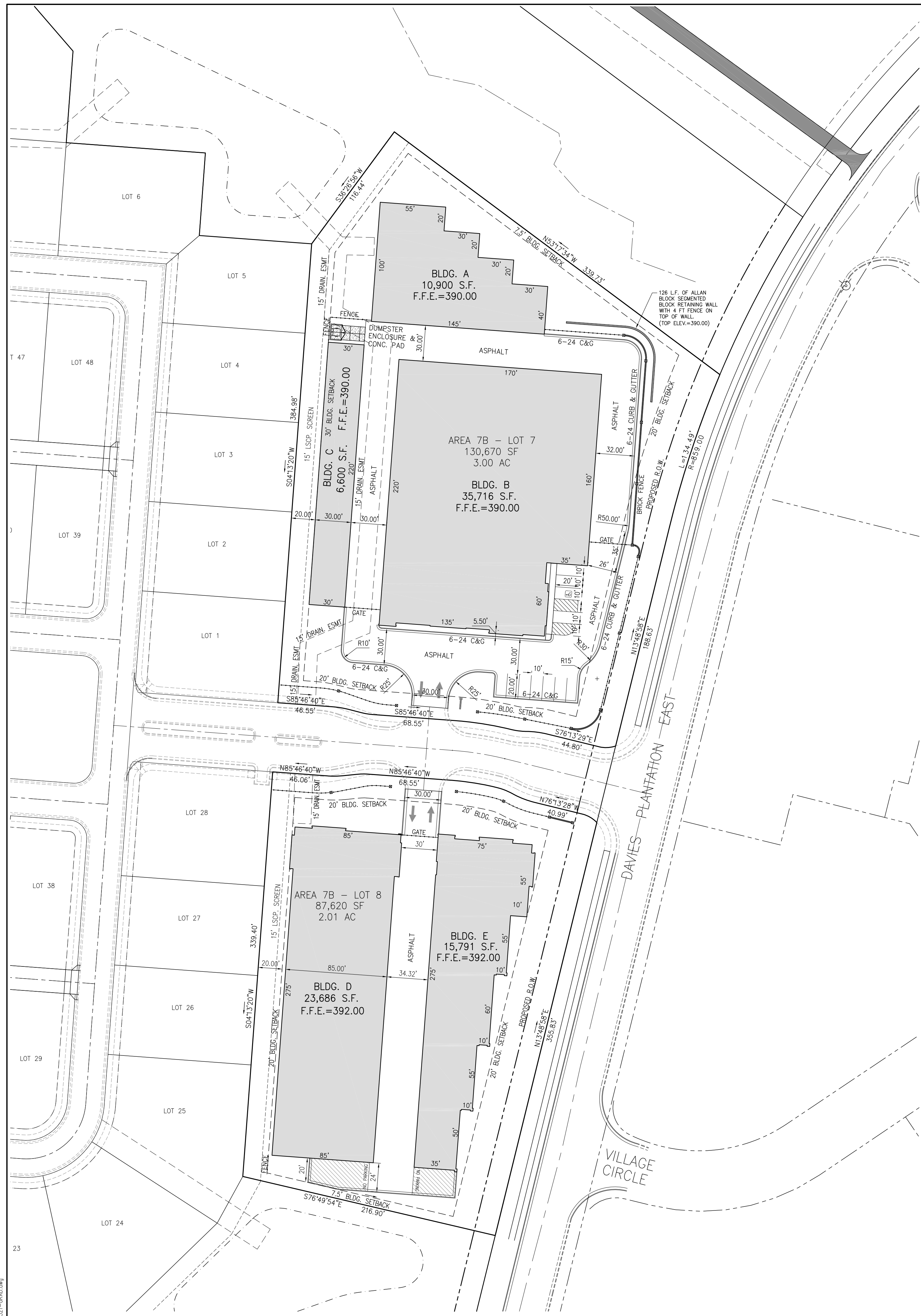
planning ▪ design ▪ landscape architecture

The proposed Absolute Storage of Lakeland represents a significant investment in the Lakeland community. The facility is projected to cost more than \$7,000,000 to construct and generate more than \$25,000 in annual property tax revenue while requiring very limited City services. Great care has been taken to develop a design package that rises to the City of Lakeland standard and serve as a valued neighbor. Accompanying this letter are all applicable drawings, illustrations, and reports required by the City's site plan submission checklist and a statement of approval and support from the Ashmont Development Architectural Review Committee. Please do not hesitate to contact me at corybrady@gmail.com or (901) 493-6996 if you have any questions related to this proposal. Thank you for your consideration.

Respectfully,



Cory Brady, PLA, AICP
Integrated Land Solutions, pllc



PROJECT INFORMATION

NAME: ASI ASHMONT
 LOCATION: ASHMONT PLANNED DEVELOPMENT
 AREAS 7 & 8
 DAVIES PLANATION ROAD
 AT STREET 'E'
 LAKELAND, TN

OWNER:
 MICHAEL HAUGH
 1630 BONNIE LANE
 CORDOVA, TN 38016
 901-490-9656

PERVIOUS/IMPERVIOUS AREA
 LOT 7: 2.86 AC (AFTER DEDICATION)

PROPOSED:
 PERVIOUS: 0.92 acres
 IMPERVIOUS: 1.94 acres
 TOTAL: 2.86 acres
 % OPEN: 32.1%

LOT 8: 2.01 AC (AFTER DEDICATION)

PROPOSED:
 PERVIOUS: 1.24 acres
 IMPERVIOUS: 0.77 acres
 TOTAL: 2.01 acres
 % OPEN: 38.3%

SITE NOTES

- SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS FOR BUILDING ENTRANCES, SIDEWALKS, AND HANDICAP ACCESS, MECHANICAL AND PLUMBING INFORMATION.
- SEE DETAIL SHEET(S) AND CONSTRUCTION NOTES SHEET FOR MORE INFORMATION.
- CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS, INCLUDING LOCATION, SIZE AND INVERT ELEVATIONS FOR ALL PIPES.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.

GENERAL GRADING NOTES

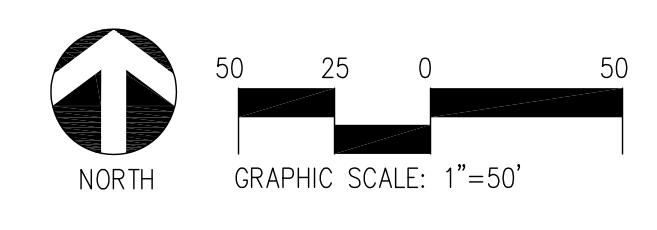
- A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE AT (901) 636-2462.
- ALL NEWLY CUT OR FILLED AREAS, LACKING ADEQUATE VEGETATION, SHALL BE SEEDED, MULCHED, FERTILIZED AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION PERIMETERS, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING THE WORK ON THE PROJECT. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M&W, AT&T, AND/OR TEXAS GAS COMPANY, CALL 1-800-351-1111. FOR SEWER LOCATIONS CALL 901-529-8025.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
- ALL FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY (ASTM D-698) WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN LIFTS NOT TO EXCEED SIX (6) INCHES OF COMPACTED THICKNESS.
- ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
- PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
- VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
- ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.

FLOODPLAIN NOTE:

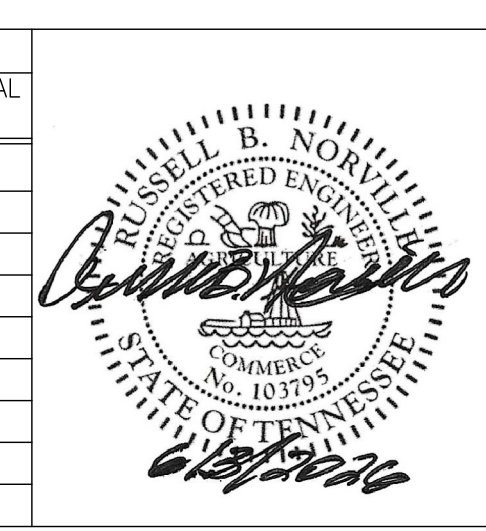
THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP, MAP NO. 470177 0455 F, EFFECTIVE DATE: SEPTEMBER 28, 2007.
 NEAREST BFE=

BENCHMARK NOTE:

BENCHMARK (B.M.): CITY OF MEMPHIS BENCHMARK #1465, BEING ON MLC&W MONUMENT LOCATED IN THE SIDEWALK 3' NORTH OF THE NORTH CURB OF PARK AVENUE, IN LINE WITH THE CENTERLINE OF HIAWATHA STREET PROJECTED NORTH. THIS GPS CITYNET CONTROL POINT 110. ELEVATION=292.80 (NAVD '88 DATUM)



REVISION	DESCRIPTION OF CHANGE	APPROVAL DATE



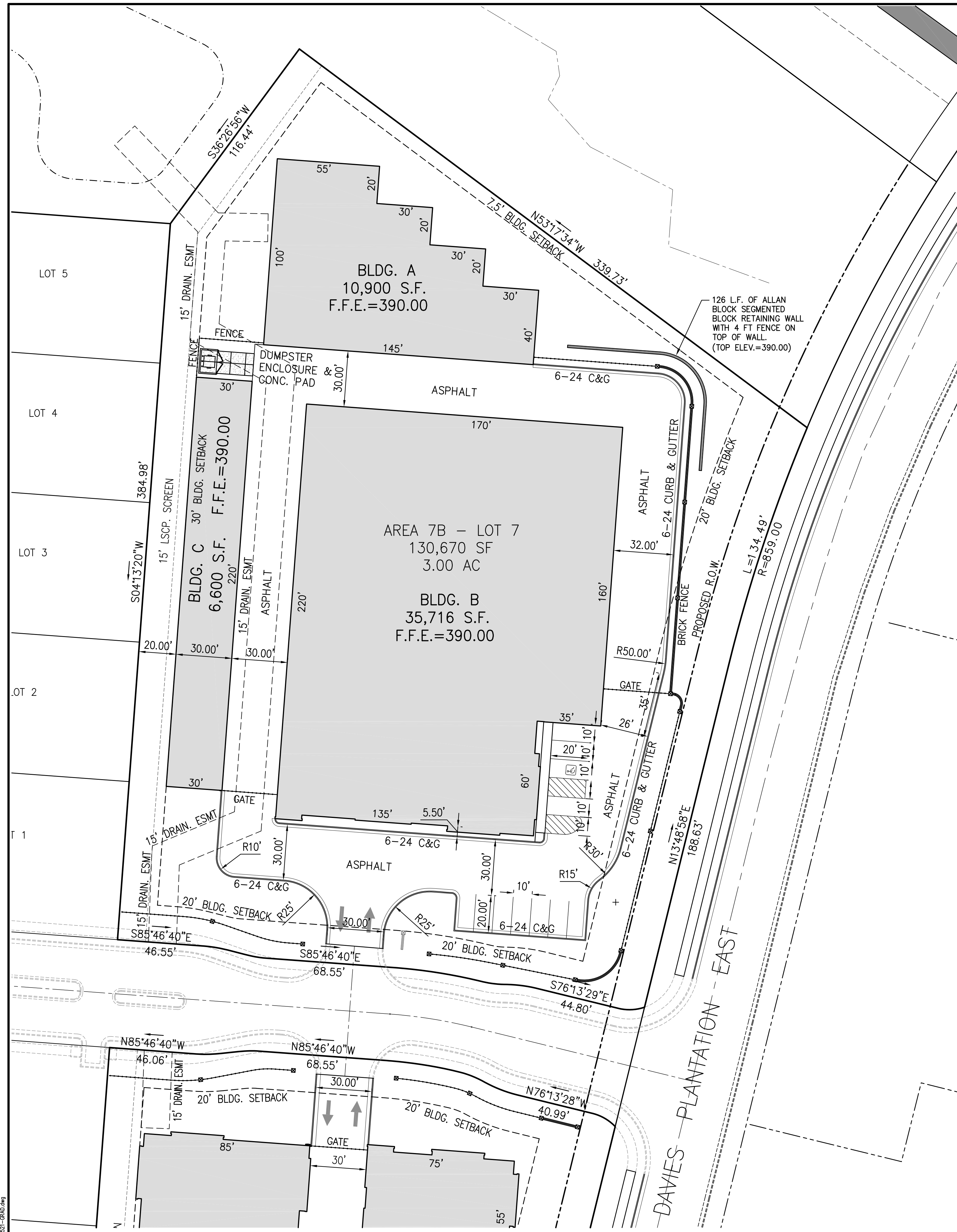
ASI ASHMONT
 DEVELOPER: ASI ASHMONT
 ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

DWG NO. C1.1

SHEET 1 OF 1
 DIVISION OF ENGINEERING
SITE PLAN
 LOCATION: ROAD 'E'
 LAKELAND, TENNESSEE

SURVEY: HARRIS DATE: 12/4/25 PROJECT #: 2603
 DESIGN BY: CES-RBN DATE: 6/3/26 BOOK:
 DRAWN BY: CES-RBN DATE: 6/3/26 SCALE: 1"=30'

REVIEWED
 CITY ENGINEER DATE



PERVIOUS/IMPERVIOUS AREA

LOT 7: 2.86 AC (AFTER DEDICATION)

PROPOSED:
 PERVIOUS: 0.92 acres
 IMPERVIOUS: 1.94 acres
 TOTAL: 2.86 acres
 % OPEN: 32.1%

SITE NOTES

- SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS FOR BUILDING ENTRANCES, SIDEWALKS, AND HANDICAP ACCESS, MECHANICAL AND PLUMBING INFORMATION.
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GENERAL GRADING NOTES

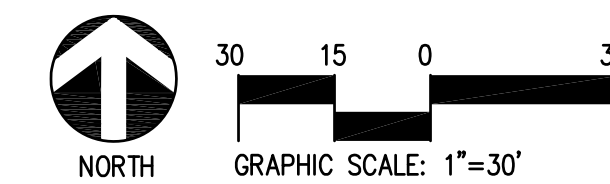
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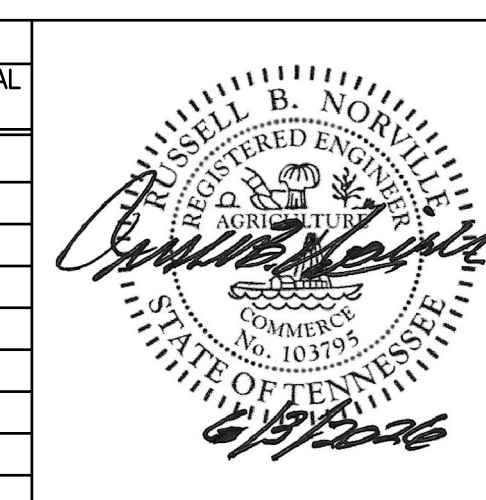
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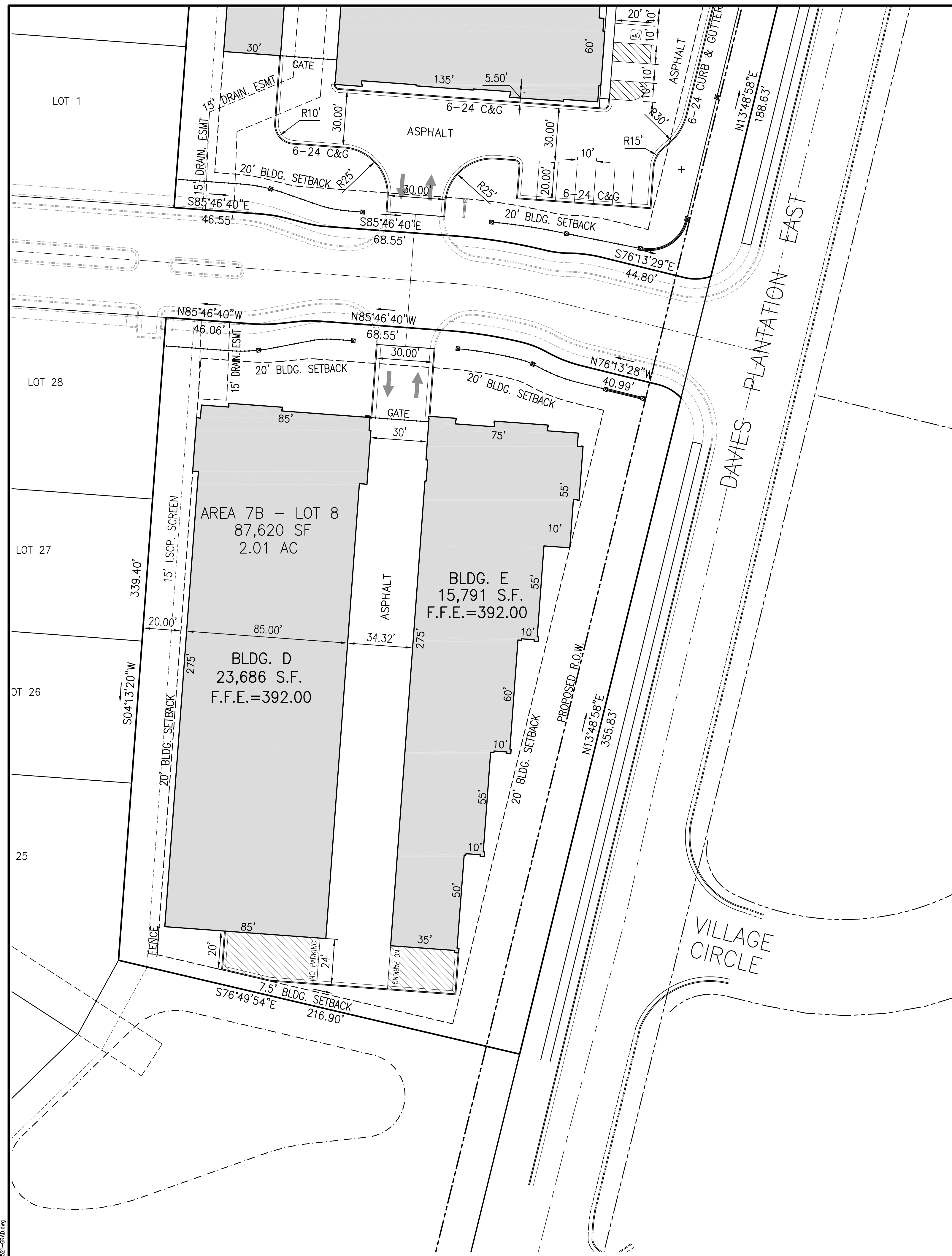
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DWG NO. C1.2

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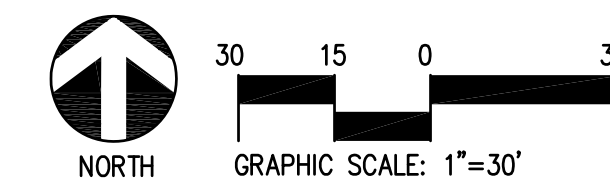
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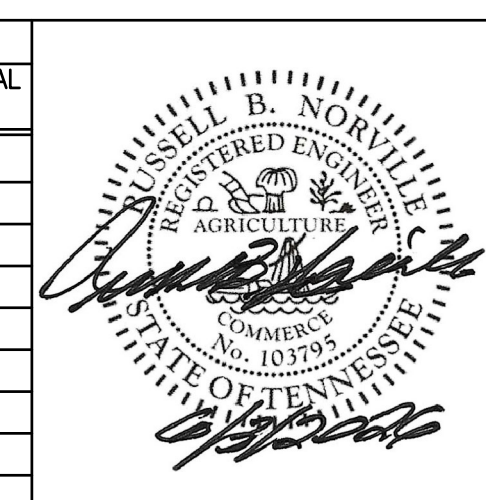
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 NEAREST BFE=

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BENCHMARK (B.M.): CITY OF MEMPHIS BENCHMARK #1465, BEING ON MLG&W MONUMENT LOCATED IN THE SIDEWALK 3' NORTH OF THE NORTH CURB OF PARK AVENUE, IN LINE WITH THE CENTERLINE OF HIAWATHA STREET PROJECTED NORTH. THIS GPS CITYNET CONTROL POINT 110. ELEVATION=292.80 (NAVD '88 DATUM)

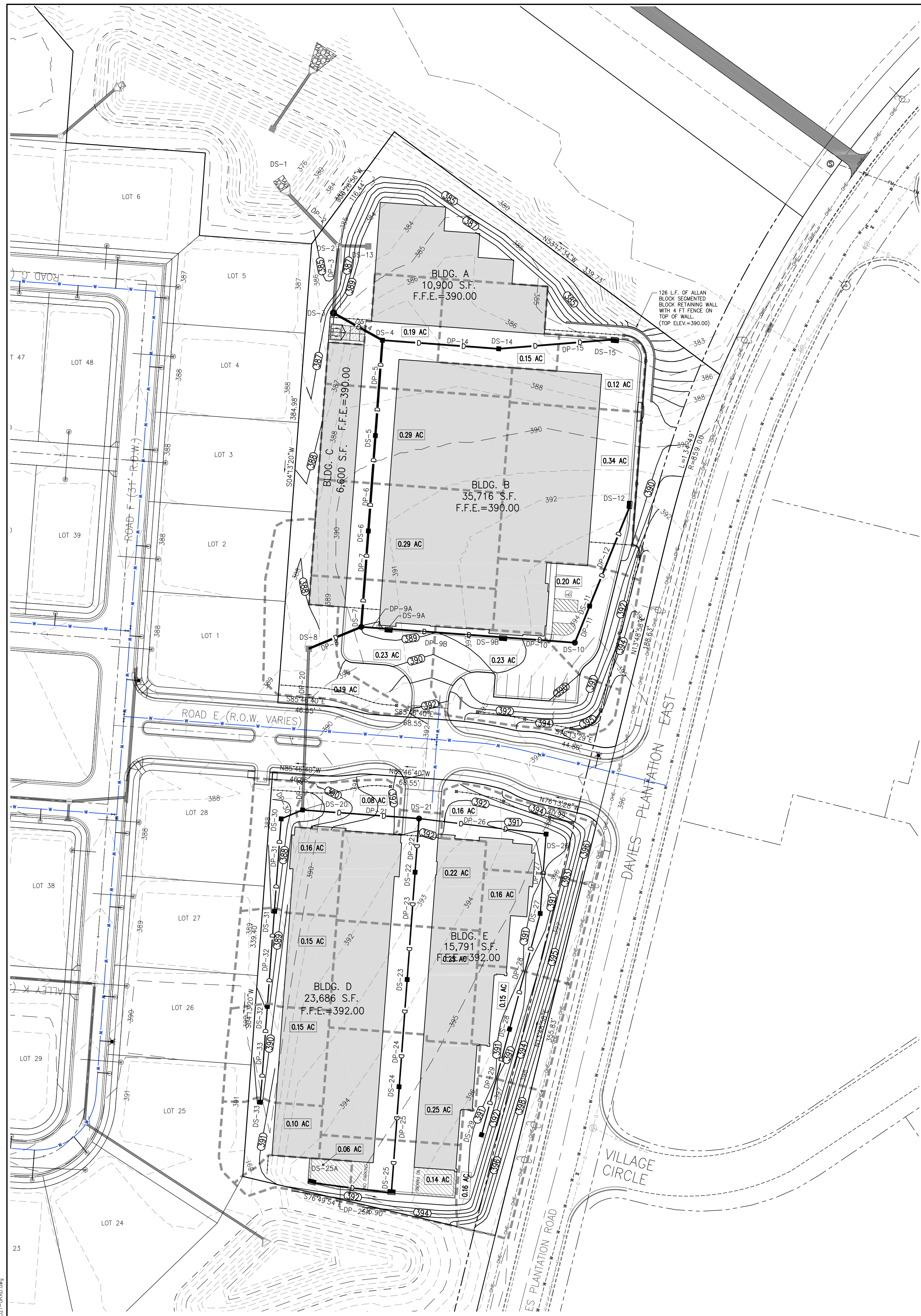


REVISION	DESCRIPTION OF CHANGE	APPROVAL DATE



ASI ASHMONT
 DEVELOPER: ASI ASHMONT
 ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

DWG NO. C1.3	
SHEET 2 OF 2 DIVISION OF ENGINEERING	
SITE PLAN	
LOCATION: ROAD 'E' LAKELAND, TENNESSEE	
SURVEY: HARRIS DESIGN BY: CES-RBN DRAWN BY: CES-RBN	DATE: 12/4/25 DATE: 6/3/26 DATE: 6/3/26
PROJECT #: 2603 BOOK: SCALE: 1"=20'	REVIEWED
CITY ENGINEER	DATE



LEGEND:

- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION (SURFACE UNLESS NOTED)
- PROPOSED SPOT ELEVATION EDGE OF PAVEMENT
- PROPOSED SPOT ELEVATION TOP OF CURB
- PROPOSED SPOT ELEVATION BOTTOM OF CURB
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- PROPOSED SPOT ELEVATION LOW POINT
- PROPOSED SPOT ELEVATION CONCRETE SURFACE ELEVATION
- PROPOSED DRAINAGE
- EXISTING DRAINAGE
- RIDGE LINE (DRAINAGE DIVIDE)
- DRAINAGE AREA

SITE NOTES

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GENERAL GRADING NOTES

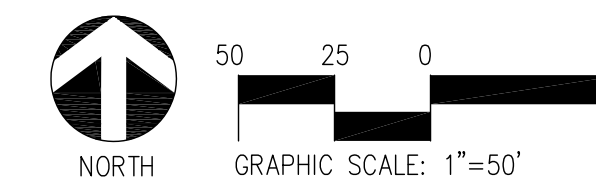
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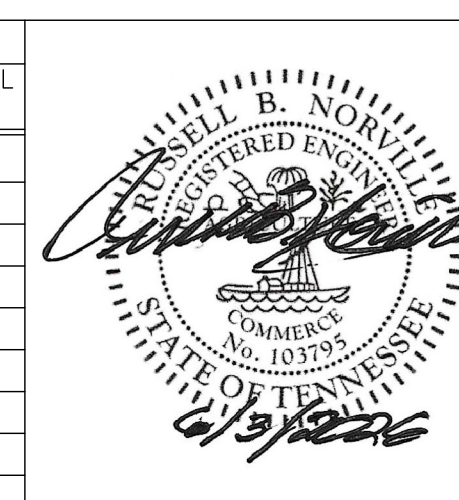
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REVISION		
ITEM No.	DESCRIPTION OF CHANGE	APPROVAL DATE



DWG NO.
C2.1

SHEET 1 OF 1
DIVISION OF ENGINEERING
GRADING & DRAINAGE PLAN
LOCATION: ROAD 'E'
LAKELAND, TENNESSEE

SURVEY: HARRIS DATE: 12/4/25 PROJECT #: 2603
DESIGN BY: CES-RBN DATE: 6/3/26 BOOK:
DRAWN BY: CES-RBN DATE: 6/3/26 SCALE: 1"=30'

ASI ASHMONT
DEVELOPER: ASI ASHMONT
ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

REVIEWED
CITY ENGINEER _____ DATE _____

DRAIN STRUCTURE DATA							
DESIGN INFORMATION							AS-BUILT
STR. NO.	TYPE	AREA (Ac.)	Q _{0.25} (cfs)	Q INTERCEPTED	BYPASS (cfs)	RIM (ELEV.)	RIM (ELEV.)
EX. DS-1	HW	-	-	-	-	-	-
EX. DS-2	DMH	-	-	-	0	385.18	-
DS-3	DMH	-	-	-	0	387.00	-
DS-4	#10	0.19	0.68	0.68	0	389.30	-
DS-5	#10	0.29	1.04	1.04	0	389.30	-
DS-6	#10	0.29	1.04	1.04	0	389.30	-
DS-7	DMH	-	-	-	0	389.00	-
DS-8	3070	0.19	0.68	0.68	0	386.71	-
DS-9	6-72	0.23	0.82	0.82	0	388.60	-
DS-10	6-72	0.23	0.82	0.82	0	389.10	-
DS-11	DMH	-	-	-	0	389.60	-
DS-12	#10	0.20	0.72	0.72	0	388.60	-
DS-13	6-72	0.34	1.22	1.22	0	389.60	-
DS-14	#10	0.15	0.54	0.54	0	389.30	-
DS-15	6-72	0.12	0.43	0.43	0	389.60	-
DS-20	3070	0.08	0.29	0.29	0	388.50	-
DS-21	DMH	-	-	-	0	392.30	-
DS-22	#10	0.22	0.79	0.79	0	391.30	-
DS-23	#10	0.25	0.90	0.90	0	391.30	-
DS-24	#10	0.25	0.90	0.90	0	391.30	-
DS-25A	#10	0.14	0.50	0.50	0	391.20	-
DS-25B	#10	0.06	0.21	0.21	0	391.20	-
DS-26	3070	0.16	0.57	0.57	0	390.00	-
DS-27	3070	0.16	0.57	0.57	0	390.00	-
DS-28	3070	0.15	0.54	0.54	0	390.00	-
DS-29	3070	0.16	0.57	0.57	0	390.00	-
DS-30	3070	0.16	0.57	0.57	0	387.00	-
DS-31	3070	0.15	0.54	0.54	0	388.00	-
DS-32	3070	0.15	0.54	0.54	0	389.00	-
DS-33	3070	0.10	0.36	0.36	0	390.00	-

DRAIN PIPE DATA																		
DESIGN INFORMATION										AS-BUILT								
PIPE NO.	FROM STR.	INVERT	TO STR.	INVERT	PIPE LENGTH	PIPE DIAM.	MAT'L	SLOPE (%)	AREA (Ac.)	Q ₀ (cfs)	Q _c (cfs)	VEL. (fps)	FROM STR.	TO STR.	PIPE LENGTH	SLOPE (%)	Q _c (cfs)	
EX. DP-2	DS-1	376.60	DS-2	377.20	60'	24"	RCP	1.00	4.13	14.78	22.62	7.20						
EX. DP-3	DS-2	377.20	DS-3	377.76	56'	24"	RCP	1.00	4.13	14.78	22.62	7.20						
DP-4	DS-3	378.44	DS-4	378.91	47'	24"	RCP	1.00	4.13	14.78	22.62	7.20						
DP-5	DS-4	378.96	DS-5	379.46	80'	24"	RCP	0.63	3.82	13.68	17.96	5.72						
DP-6	DS-5	379.51	DS-6	380.01	80'	24"	RCP	0.63	3.67	13.14	17.96	5.72						
DP-7	DS-6	380.06	DS-7	380.56	80'	24"	RCP	0.63	3.38	12.10	17.96	5.72						
DP-8	DS-7	380.61	DS-8	381.04	43'	24"	RCP	1.00	2.38	8.52	22.62	7.20						
DP-9	DS-7	383.58	DS-9	383.72	23'	15"	RCP	0.60	1.00	3.58	5.00	4.08						
DP-10	DS-9	383.77	DS-10	384.35	96'	15"	RCP	0.60	0.77	2.76	5.00	4.08						
DP-11	DS-10	384.40	DS-11	384.75	59'	15"	RCP	0.60	0.54	1.93	5.00	4.08						
DP-12	DS-11	384.80	DS-12	385.00	33'	15"	RCP	0.60	0.54	1.93	5.00	4.08						
DP-13	DS-12	385.05	DS-13	385.60	91'	15"	RCP	0.60	0.34	1.22	5.00	4.08						
DP-14	DS-4	384.27	DS-14	384.86	98'	15"	RCP	0.60	0.27	0.97	5.00	4.08						
DP-15	DS-14	384.91	DS-15	385.50	98'	15"	RCP	0.60	0.12	0.43	5.00	4.08						
EX. DP-20	DS-8	381.09	DS-20	382.59	134'	18"	RCP	1.12	2.19	7.84	11.12	6.29						
DP-21	DS-20	382.84	DS-21	384.02	98'	15"	RCP	1.20	1.55	5.55	7.08	5.76						
DP-22	DS-21	384.73	DS-22	385.18	45'	15"	RCP	1.00	0.92	3.29	6.46	5.26						
DP-23	DS-22	385.23	DS-23	385.77	90'	15"	RCP	0.60	0.70	2.51	5.00	4.08						
DP-24	DS-23	385.82	DS-24	386.36	90'	15"	RCP	0.60	0.45	1.61	5.00	4.08						
DP-25A	DS-24	386.41	DS-25A	386.95	89'	15"	RCP	0.60	0.20	0.72	5.00	4.08						
DP-25B	DS-25A	387.00	DS-25B	387.40	67'	15"	RCP	0.60	0.06	2.76	5.00	4.08						
DP-26	DS-21	383.65	DS-26	384.30	107'	15"	RCP	0.60	0.63	2.26	5.00	4.08						
DP-27	DS-21	383.65	DS-26	384.30	66'	15"	RCP	0.60	0.47	1.68	5.00	4.08						
DP-28	DS-27	384.80	DS-28	385.40	100'	15"	RCP	0.60	0.31	1.11	5.00	4.08						
DP-29	DS-28	385.45	DS-29	386.00	92'	15"	RCP	0.60	0.16	0.57	5.00	4.08						
DP-30	DS-20	382.84	DS-30	383.03	19'	15"	RCP	1.00	0.56	2.00	6.46	5.26						
DP-31	DS-30	383.08	DS-31	383.85	77'	15"	RCP	1.00	0.40	1.43	6.46	5.26						
DP-32	DS-31	383.90	DS-31	384.70	80'	15"	RCP	1.00	0.25	0.90	6.46	5.26						
DP-33	DS-32	384.75	DS-33	385.55	80'	15"	RCP	1.00	0.10	0.36	6.46	5.26						

NOTE:
 STORM DRAINAGE SYSTEM IS DESIGN FOR 25 YEAR STORM EVENT (Q_{0.25}) USING RATIONAL METHOD.
 DP: DRAINAGE PIPE DESIGNATOR
 EX: EXISTING DRAINAGE PIPE OR EXISTING DRAINAGE STRUCTURE.

PUBLIC: PUBLIC DRAINAGE PIPE/STRUCTURE

DRAIN STRUCTURES SHALL BE PRE-CAST CONCRETE.
 HP: HIGH DENSITY POLYPROPYLENE PIPE (ADS HP)

6-72: CITY OF MEMPHIS CURB & GUTTER INLET
 (6-72 ELEV IS TOP OF CURB)

#10: CITY OF MEMPHIS SURFACE INLET (2'X2')
 (RIM/THROAT ELEV IS GRATE ELEV.)

#3070: CITY OF MEMPHIS RASIED TOP GRATE
 (RIM/THROAT ELEV IS THROAT ELEV.)

DMH: DRAIN MANHOLE WITH COVER
 (RIM/THROAT ELEV IS RIM ELEV.)

HW: CITY OF MEMPHIS TYPE 'E' HEADWALL

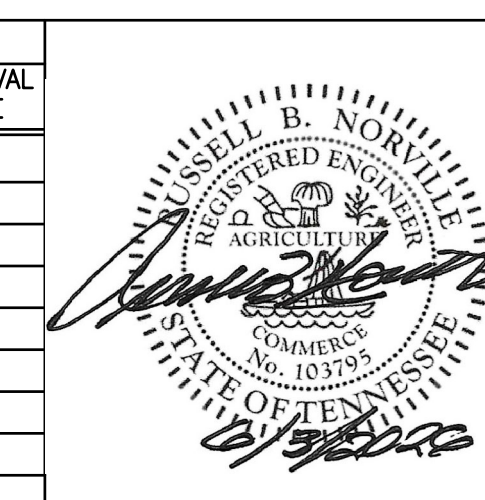
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REVISION		
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ASI ASHMONT

DEVELOPER: ASI ASHMONT
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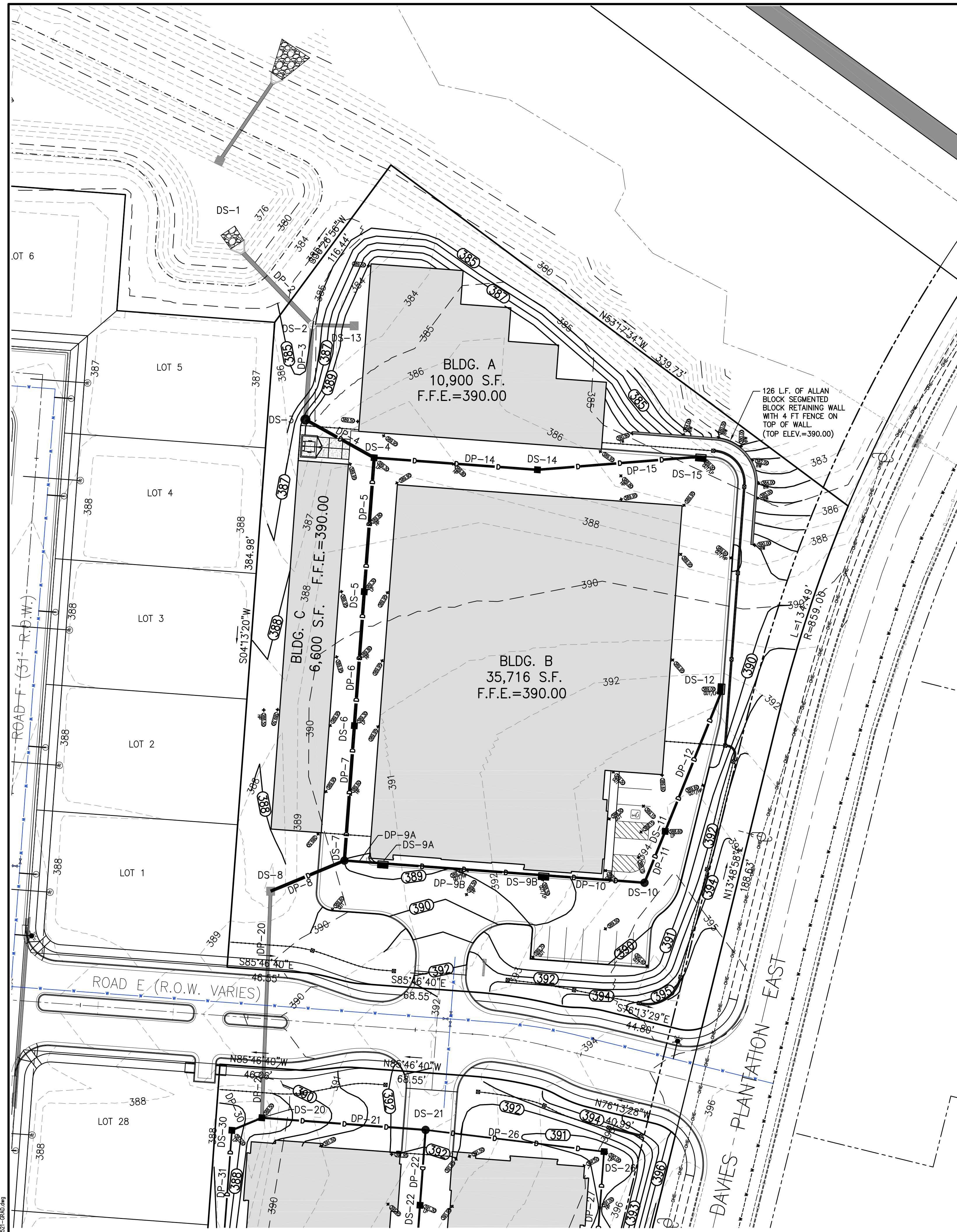
DWG. NO.
C2.2

DRAINAGE BASIN:

SHEET 1 OF 1
 DIVISION OF ENGINEERING
GRADING & DRAINAGE PLAN
 LOCATION: ROAD 'E'
 LAKELAND, TENNESSEE

SURVEY: HARRIS DATE: 12/4/25 PROJECT #: 2603
 DESIGN BY: CES-RBN DATE: 6/3/26 BOOK:
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REVIEWED
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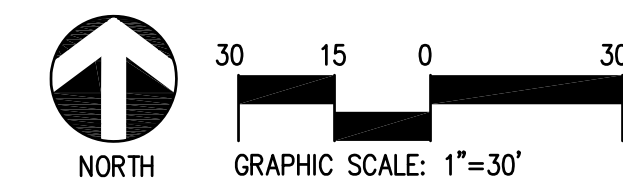
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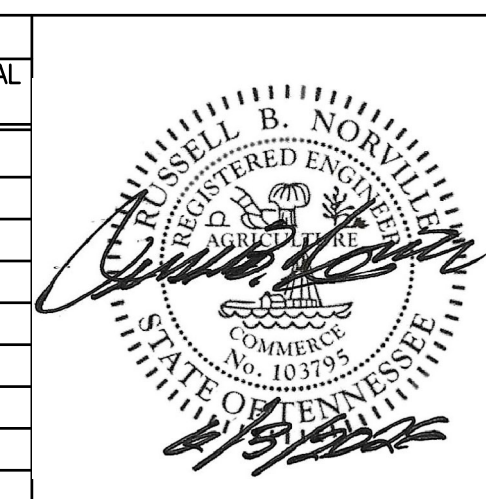
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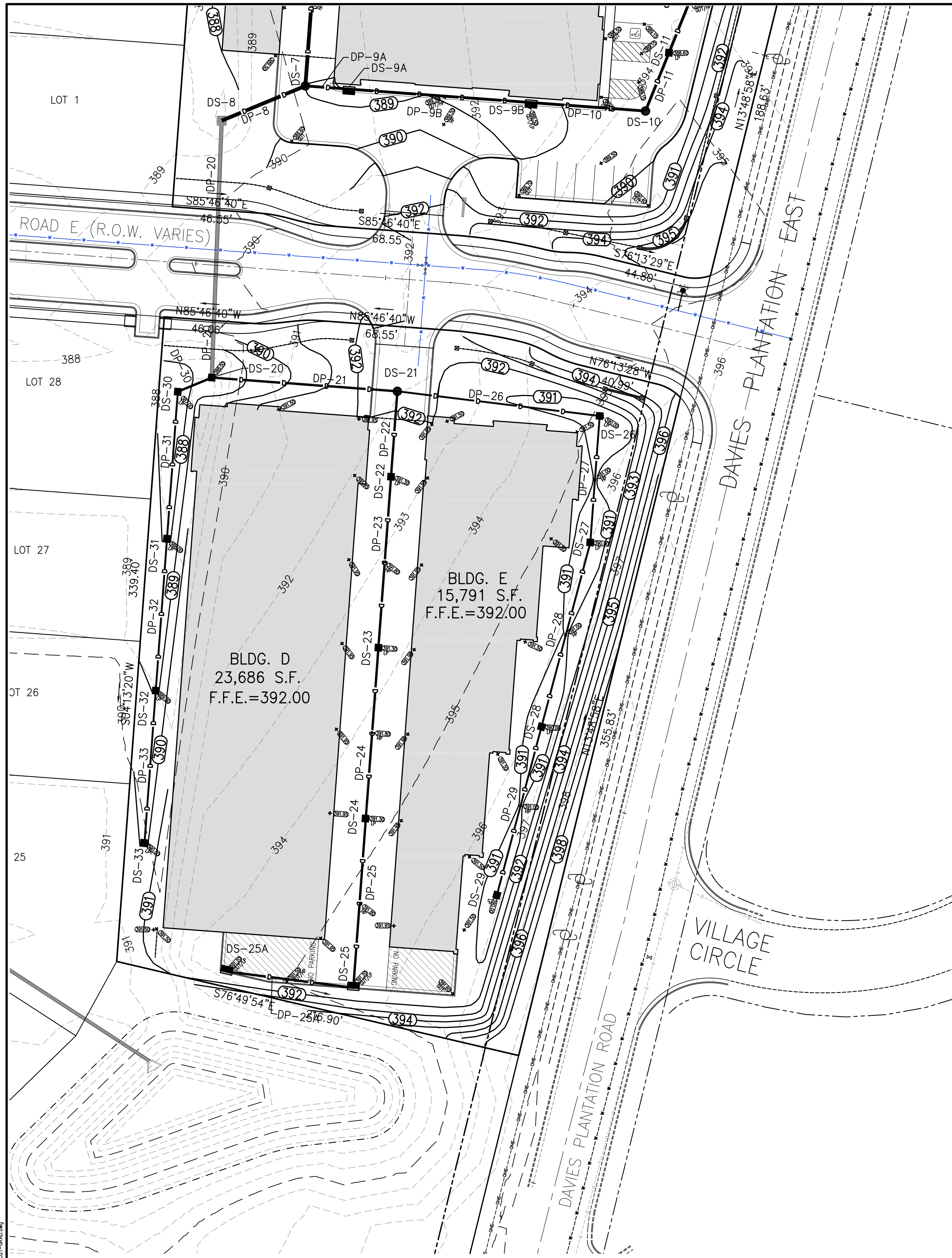
ASI ASHMONT
 DEVELOPER: ASI ASHMONT
 ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

DRAINAGE BASIN: **C2.3**

SHEET 1 OF 1
 DIVISION OF ENGINEERING
SPOT ELEVATION PLAN
 LOCATION: ROAD 'E'
 LAKELAND, TENNESSEE

SURVEY: HARRIS DATE: 12/4/25 PROJECT #: 2603
 DESIGN BY: CES-RBN DATE: 6/3/26 BOOK:
 DRAWN BY: CES-RBN DATE: 6/3/26 SCALE: 1"=20'

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3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION PERIMETERS, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING THE WORK ON THE PROJECT. FOR SITE LOCATION OF EXISTING UTILITIES INVOLVING M&GW, AT&T, AND/OR TEXAS GAS COMPANY, CALL 1-800-351-1111. FOR SEWER LOCATIONS CALL 901-529-8025.
4. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
5. ALL FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY (ASTM D-698) WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN LIFTS NOT TO EXCEED SIX (6) INCHES OF COMPACTED THICKNESS.
6. ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
7. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
8. VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
9. ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.

LEGEND:

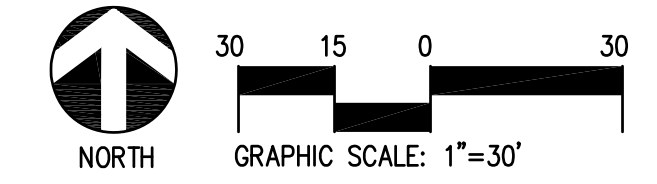
- PROPOSED CONTOUR
- EXISTING CONTOUR (SURFACE UNLESS NOTED)
- PROPOSED SPOT ELEVATION (SURFACE UNLESS NOTED)
- PROPOSED SPOT ELEVATION EDGE OF PAVEMENT
- PROPOSED SPOT ELEVATION TOP OF CURB
- PROPOSED SPOT ELEVATION BOTTOM OF CURB
- PROPOSED SPOT ELEVATION HIGH POINT
- PROPOSED SPOT ELEVATION LOW POINT
- PROPOSED SPOT ELEVATION CONCRETE SURFACE ELEVATION
- PROPOSED DRAINAGE
- EXISTING DRAINAGE

FLOODPLAIN NOTE:

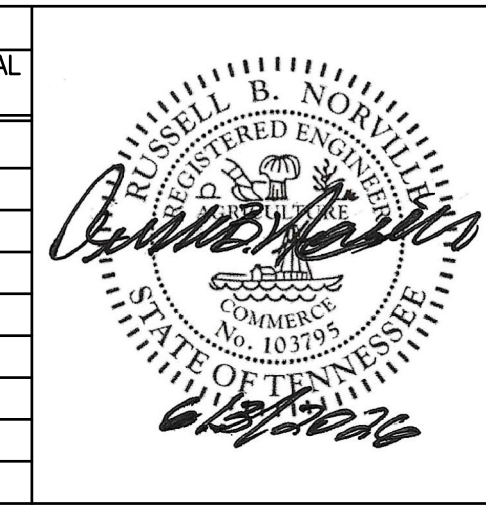
THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP, MAP NO. 470177 0455 F, EFFECTIVE DATE: SEPTEMBER 28, 2007. NEAREST BFE=

BENCHMARK NOTE:

BENCHMARK (B.M.): CITY OF MEMPHIS BENCHMARK #1465, BEING ON M&GW MONUMENT LOCATED IN THE SIDEWALK 3' NORTH OF THE NORTH CURB OF PARK AVENUE, IN LINE WITH THE CENTERLINE OF HIAWATHA STREET PROJECTED NORTH. THIS GPS CITYNET CONTROL POINT 110. ELEVATION=292.80 (NAVD '88 DATUM)



REVISION		
ITEM No.	DESCRIPTION OF CHANGE	APPROVAL DATE



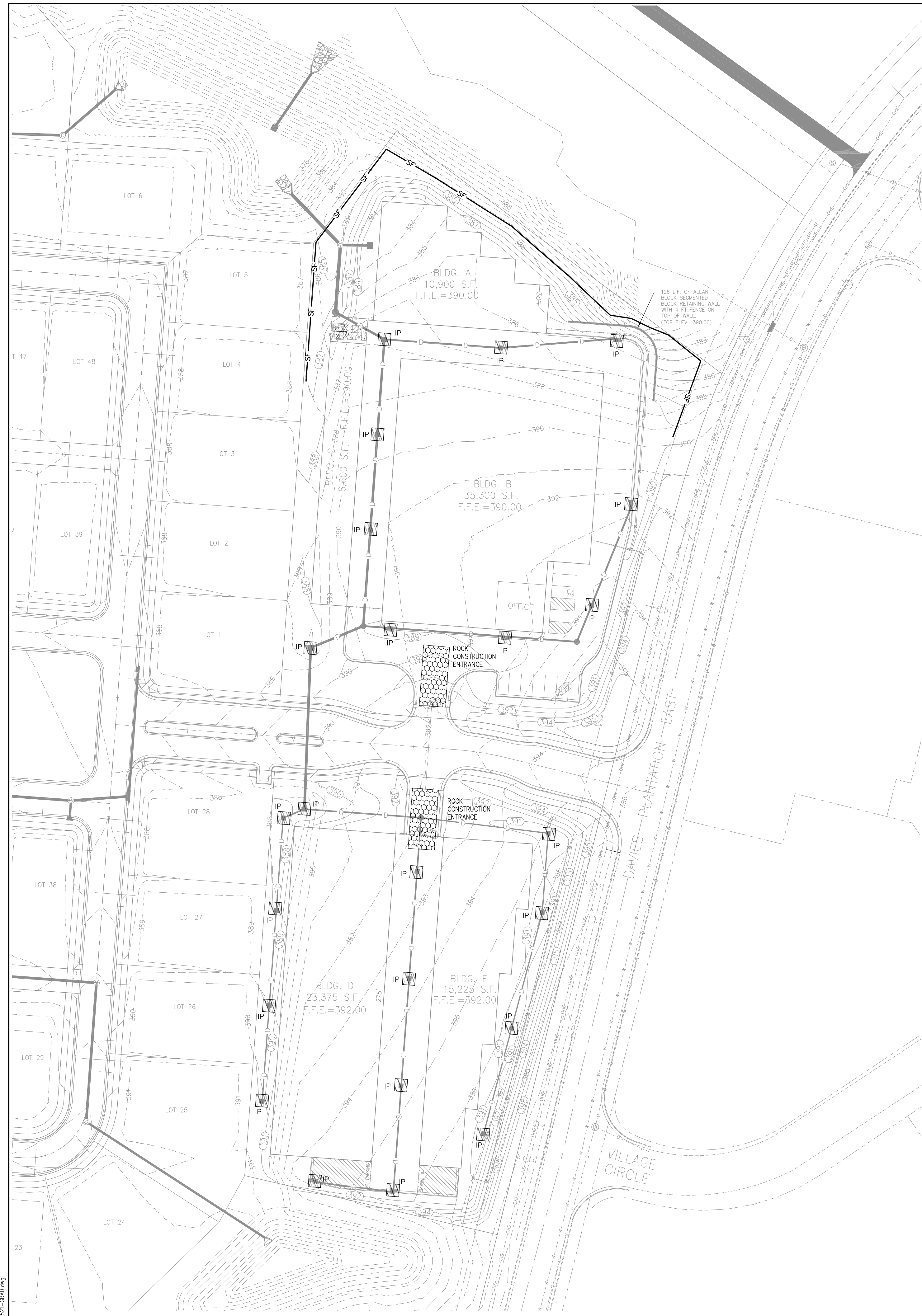
ASI ASHMONT
 DEVELOPER: ASI ASHMONT
 ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

DRAINAGE BASIN: **C2.4**

SHEET 1 OF 1
 DIVISION OF ENGINEERING
SPOT ELEVATION PLAN
 LOCATION: ROAD 'E'
 LAKELAND, TENNESSEE

SURVEY: HARRIS DATE: 12/4/25 PROJECT #: 2603
 DESIGN BY: CES-RBN DATE: 6/3/26 BOOK:
 DRAWN BY: CES-RBN DATE: 6/3/26 SCALE: 1"=20'

REVIEWED _____
 CITY ENGINEER _____ DATE _____



EROSION CONTROL NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION OR OTHER ACTIVITY ON THE SITE.
2. ALL NEWLY CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, SEEDED, AND/OR SODDED TO EFFECTIVELY CONTROL SOIL EROSION.
3. A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH PROJECT SITE. INSPECTOR SHALL BE LEVEL I CERTIFIED IN ACCORDANCE WITH TDEC REQUIREMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SOIL EROSION CONTROL MEASURES AS NOTED ON THE PLANS, AS REQUESTED BY THE OWNER DURING CONSTRUCTION, AND AS NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR SATISFYING THE REQUIREMENTS OF THE CITY OF DYERSBURG AND THE STATE OF TENNESSEE DEPARTMENT OF WATER POLLUTION CONTROL AS SET FORTH IN THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK. ALL SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT SO AS TO PREVENT ANY SEDIMENTATION FROM WASHING OFF THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHTS-OF-WAY. SEDIMENT FENCE SHALL BE INSTALLED AS DIRECTED. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL MAINTENANCE ACTIVITIES FOR THE EROSION CONTROL ELEMENTS AS REQUIRED BY THE STATE OF TENNESSEE DEPARTMENT OF WATER POLLUTION CONTROL.
5. EROSION AND SEDIMENT CONTROL MEASURE MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY OR PRIOR TO RAINFALL EVENTS.
6. ALL CONTROL MEASURES SHALL BE CHECKED PER THE SWPPP AND STATE REQUIREMENTS. MAINTENANCE AND REPAIRS SHALL BE MADE AS NECESSARY. DURING PROLONGED RAINFALL, DAILY CHECKING AND REPAIRING MAY BE NECESSARY. THE PERMITEE SHALL MAINTAIN RECORDS OF INSPECTION CHECKS, MAINTENANCE AND REPAIRS.

ANTICIPATED CONSTRUCTION SEQUENCE

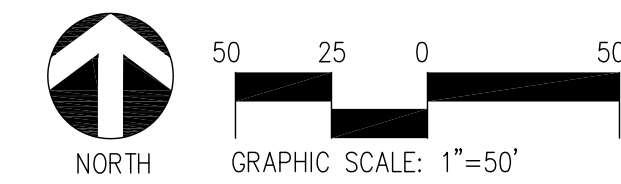
1. INSTALL CONSTRUCTION ENTRANCE.
2. INSTALL SEDIMENTATION FENCE.
3. STRIP AND REMOVE TOP SOIL.
4. EARTHWORK OPERATION (GRADING).
5. INSTALLATION OF UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEM.
6. BEGIN BUILDING CONSTRUCTION
7. INSTALL PARKING LOT.
8. INSTALLATION OF LANDSCAPING.
9. PROVIDE NECESSARY EROSION CONTROL SODDING AND SEEDING IN REMAINING AREAS.

FLOODPLAIN NOTE:

THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP, MAP NO. 470177 0455 F, EFFECTIVE DATE: SEPTEMBER 28, 2007. NEAREST BFE=

BENCHMARK NOTE:

BENCHMARK (B.M.): CITY OF MEMPHIS BENCHMARK #1465, BEING ON ML&W MONUMENT LOCATED IN THE SIDEWALK 3' NORTH OF THE NORTH CURB OF PARK AVENUE, IN LINE WITH THE CENTERLINE OF HIAWATHA STREET PROJECTED NORTH. THIS GPS CITYNET CONTROL POINT 110. ELEVATION=292.80 (NAVD '88 DATUM)



LEGEND:

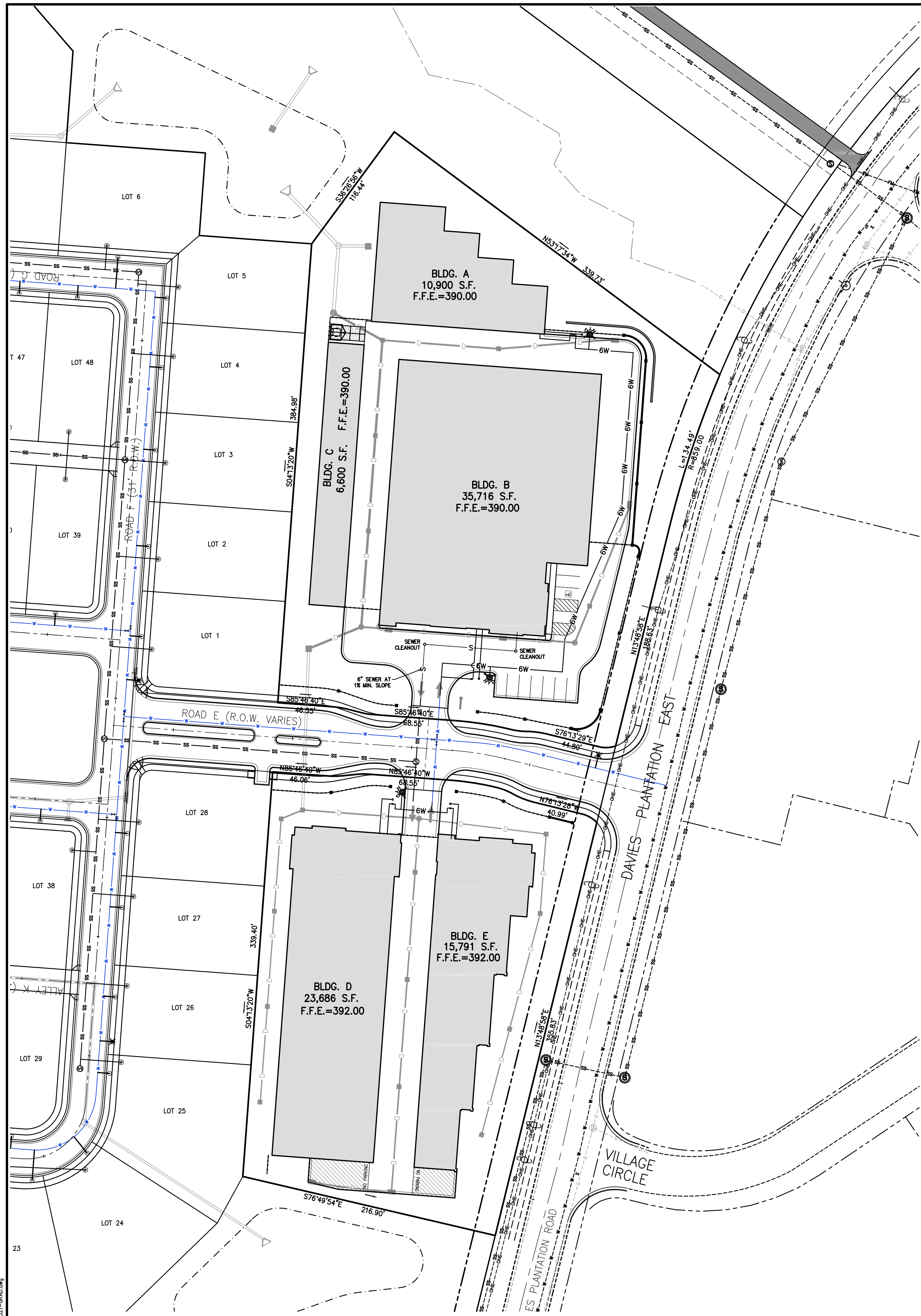
- 302 — PROPOSED CONTOUR
- 299 — EXISTING CONTOUR
- SF-SF- SEDIMENTATION FENCING
- IP INLET PROTECTION
- CD ROCK CHECK DAM
- ROCK CONSTRUCTION ENTRANCE

REVISION		
ITEM No.	DESCRIPTION OF CHANGE	APPROVAL DATE



ASI ASHMONT
 DEVELOPER: ASI ASHMONT
 ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

DWG NO. C3.1
SHEET 1 OF 1 DIVISION OF ENGINEERING EROSION CONTROL PLAN LOCATION: ROAD "E" LAKELAND, TENNESSEE
SURVEY: HARRIS DESIGN BY: CES-RBN DRAWN BY: CES-RBN
DATE: 12/4/25 DATE: 5/14/26 DATE: 5/14/26
PROJECT #: 2603 BOOK: SCALE: 1"=30'
REVIEWED
CITY ENGINEER _____ DATE _____



SITE NOTES

1. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS FOR BUILDING ENTRANCES, SIDEWALKS, AND HANDICAP ACCESS, MECHANICAL AND PLUMBING INFORMATION.
2. SEE DETAIL SHEET(S) AND CONSTRUCTION NOTES SHEET FOR MORE INFORMATION.
3. CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS, INCLUDING LOCATION, SIZE AND INVERT ELEVATIONS FOR ALL PIPES.
4. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.

GENERAL GRADING NOTES

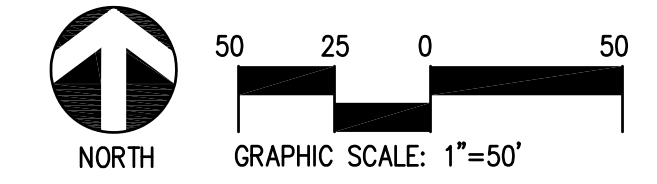
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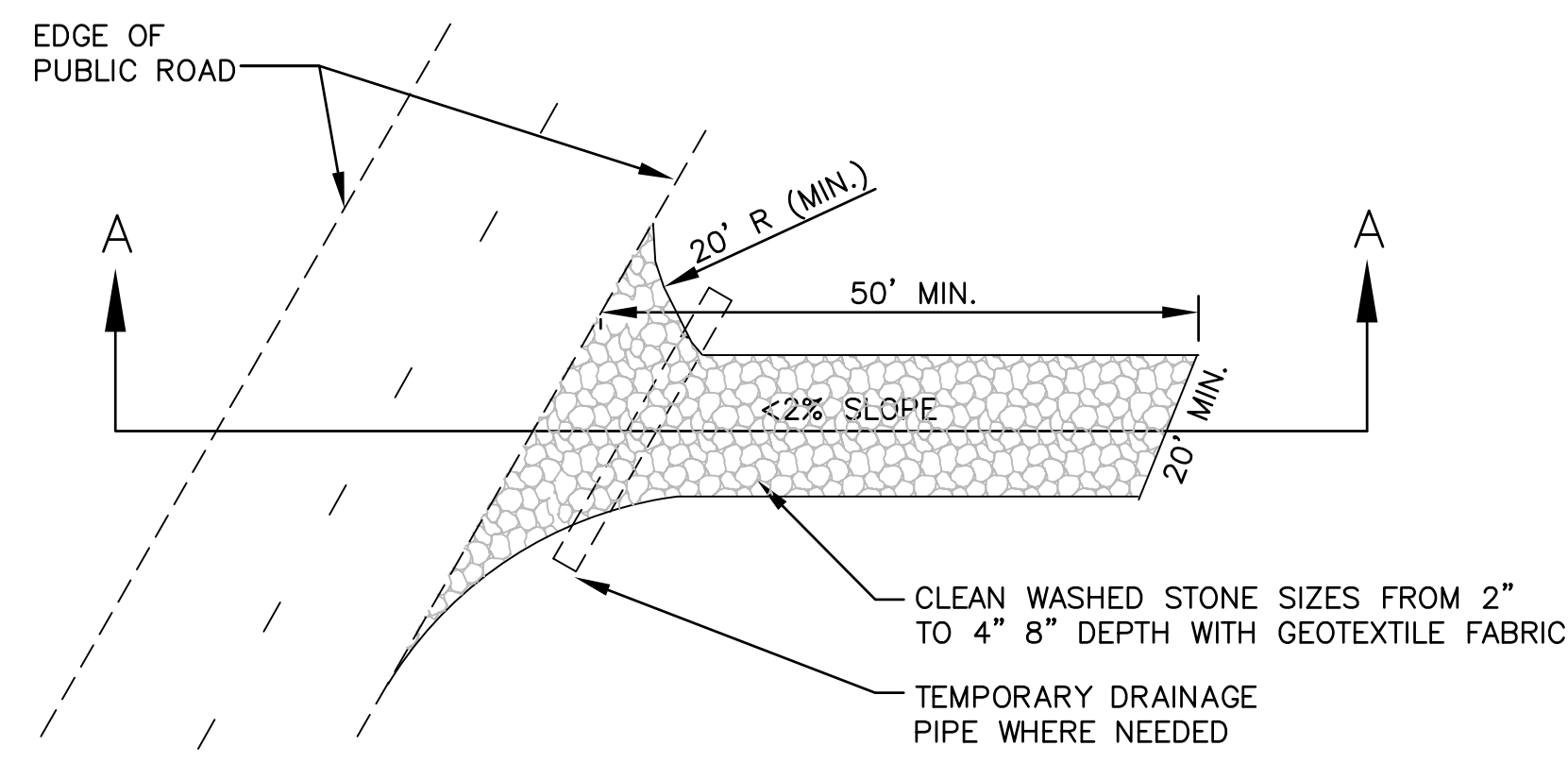


REVISION		
ITEM No.	DESCRIPTION OF CHANGE	APPROVAL DATE

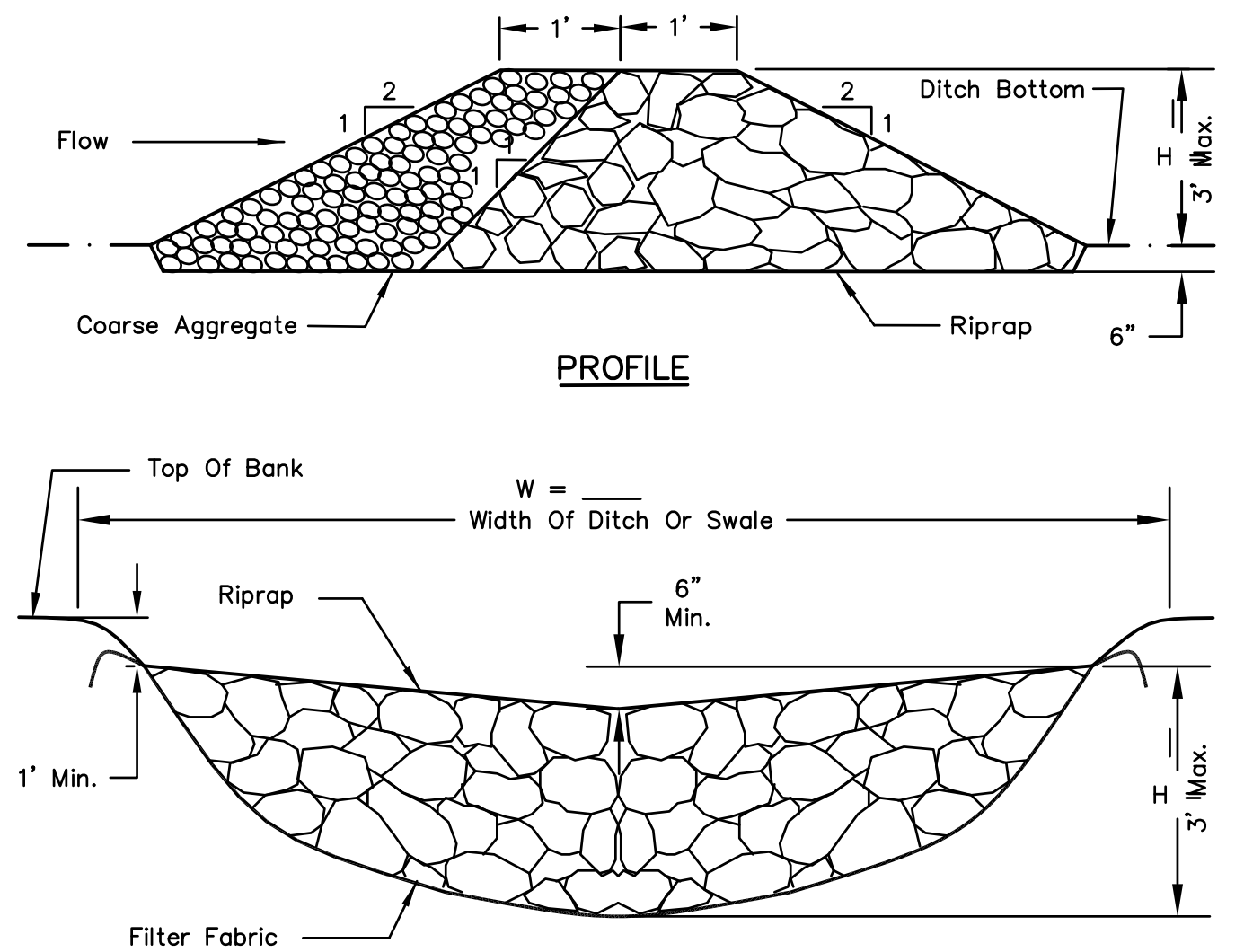


ASI ASHMONT
 DEVELOPER: ASI ASHMONT
 ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

DWG. NO. C4.1	
SHEET 1 OF 1 DIVISION OF ENGINEERING	
SEWER & WATER PLAN	
LOCATION: ROAD 'E' LAKELAND, TENNESSEE	
SURVEY: HARRIS DESIGN BY: CES-RBN DRAWN BY: CES-RBN	DATE: 12/4/25 DATE: 6/3/26 DATE: 6/3/26
PROJECT #: 2603 BOOK: SCALE: 1"=30'	REVIEWED
CITY ENGINEER	DATE



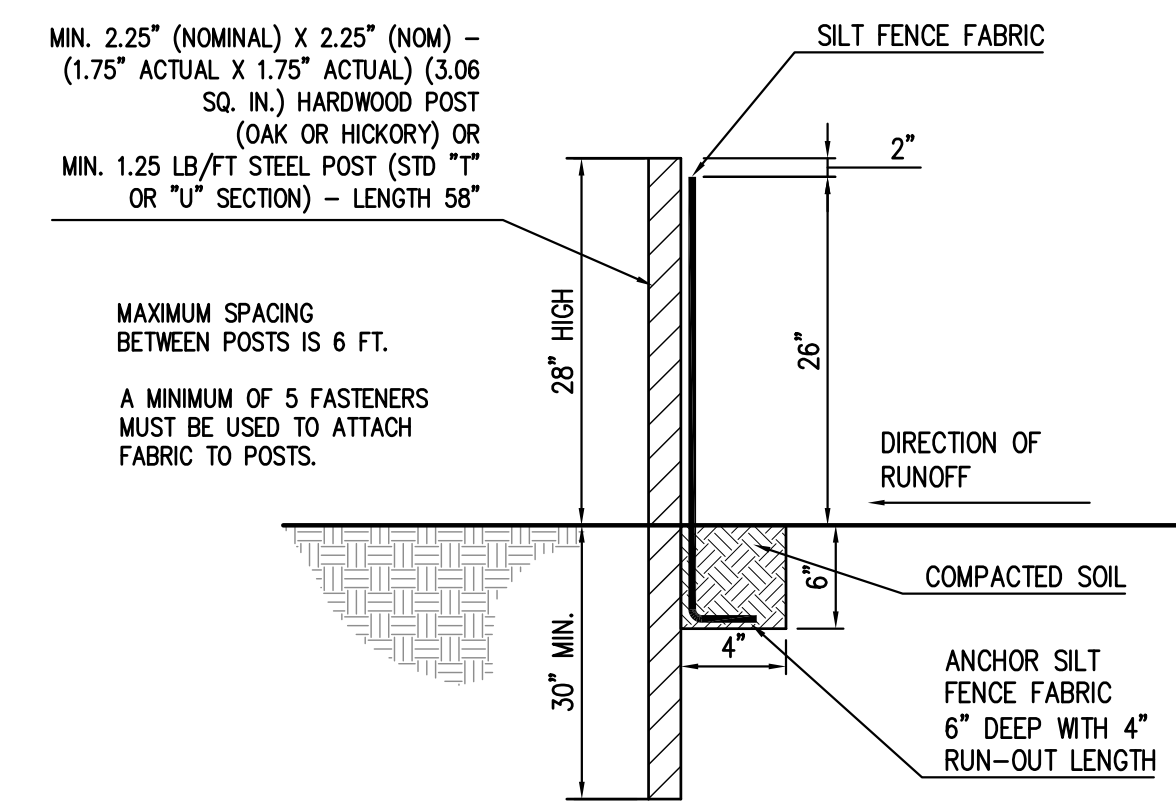
PLAN VIEW OF TEMPORARY CONSTRUCTION ROAD



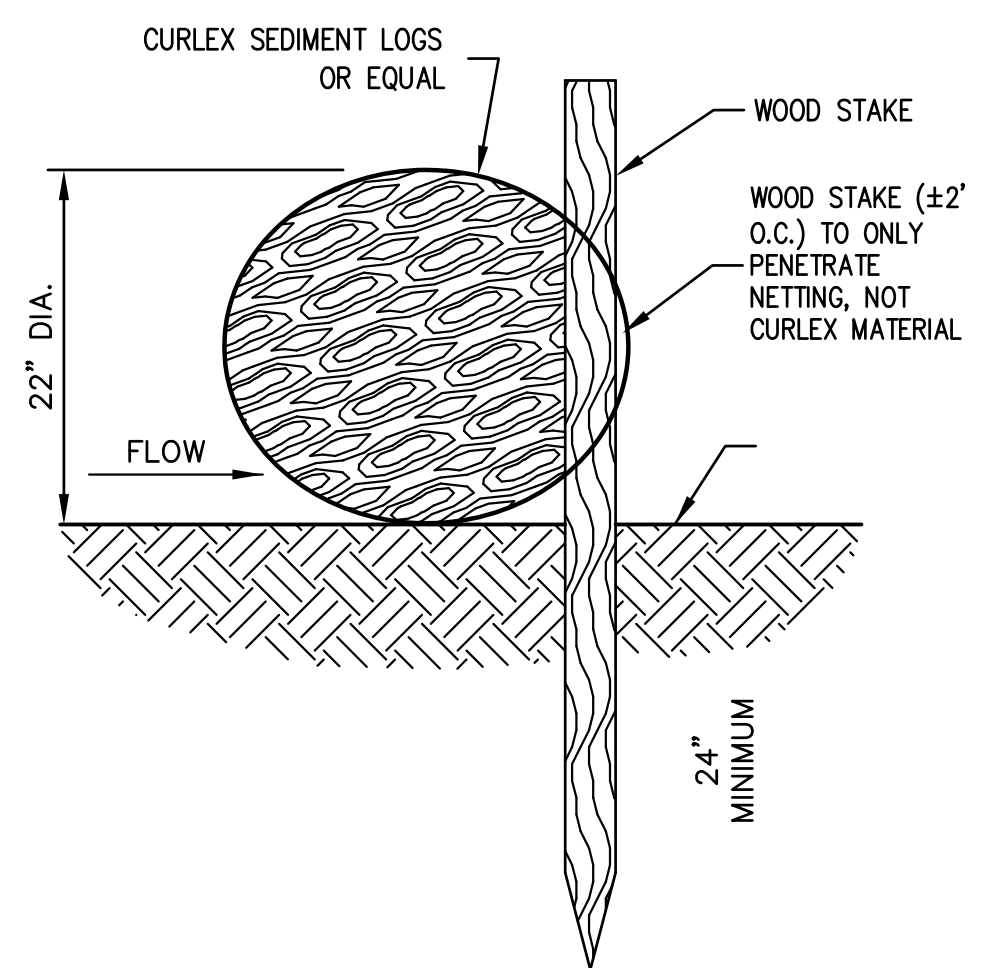
CROSS SECTION CENTERLINE LOOKING DOWNSTREAM

- NOTES:
1. Filter fabric shall meet the requirements of TDOT
 2. Coarse aggregate shall meet the TDOT gradations.
 3. Riprap shall meet TDOT gradation CLASS 'C'.
 4. For added stability, the base of the dam may be keyed 6 inches into the soil.
 5. See plans for spacing of dams and H dimensions.

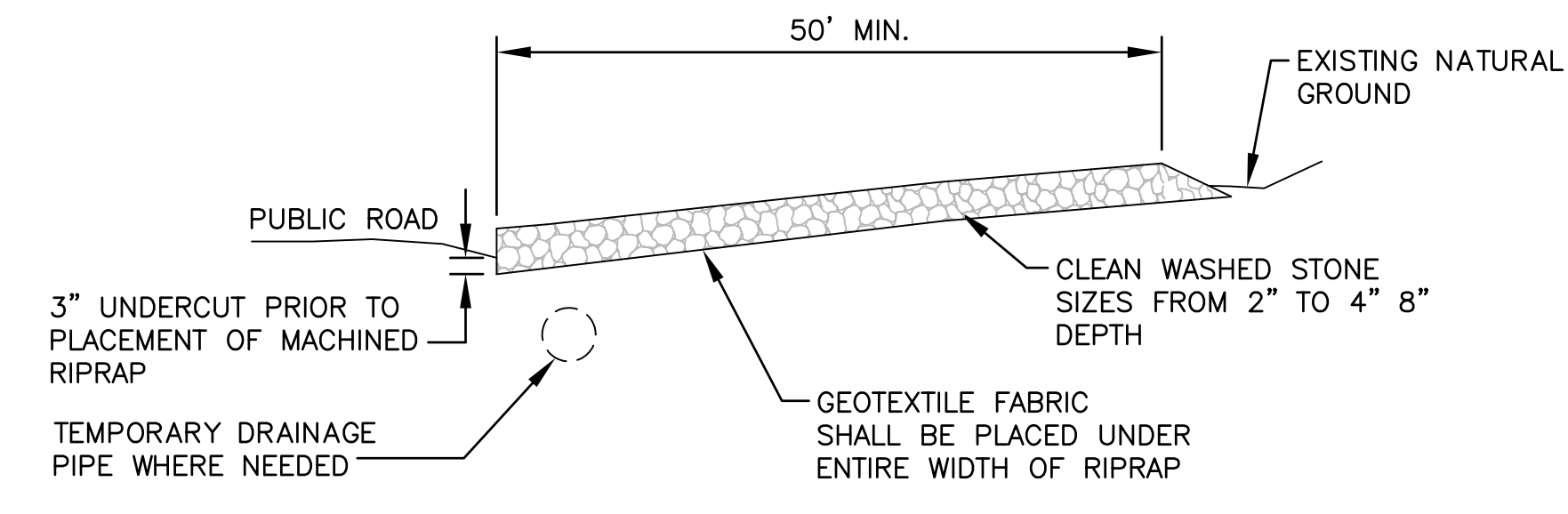
RIP-RAP CHECK DAM



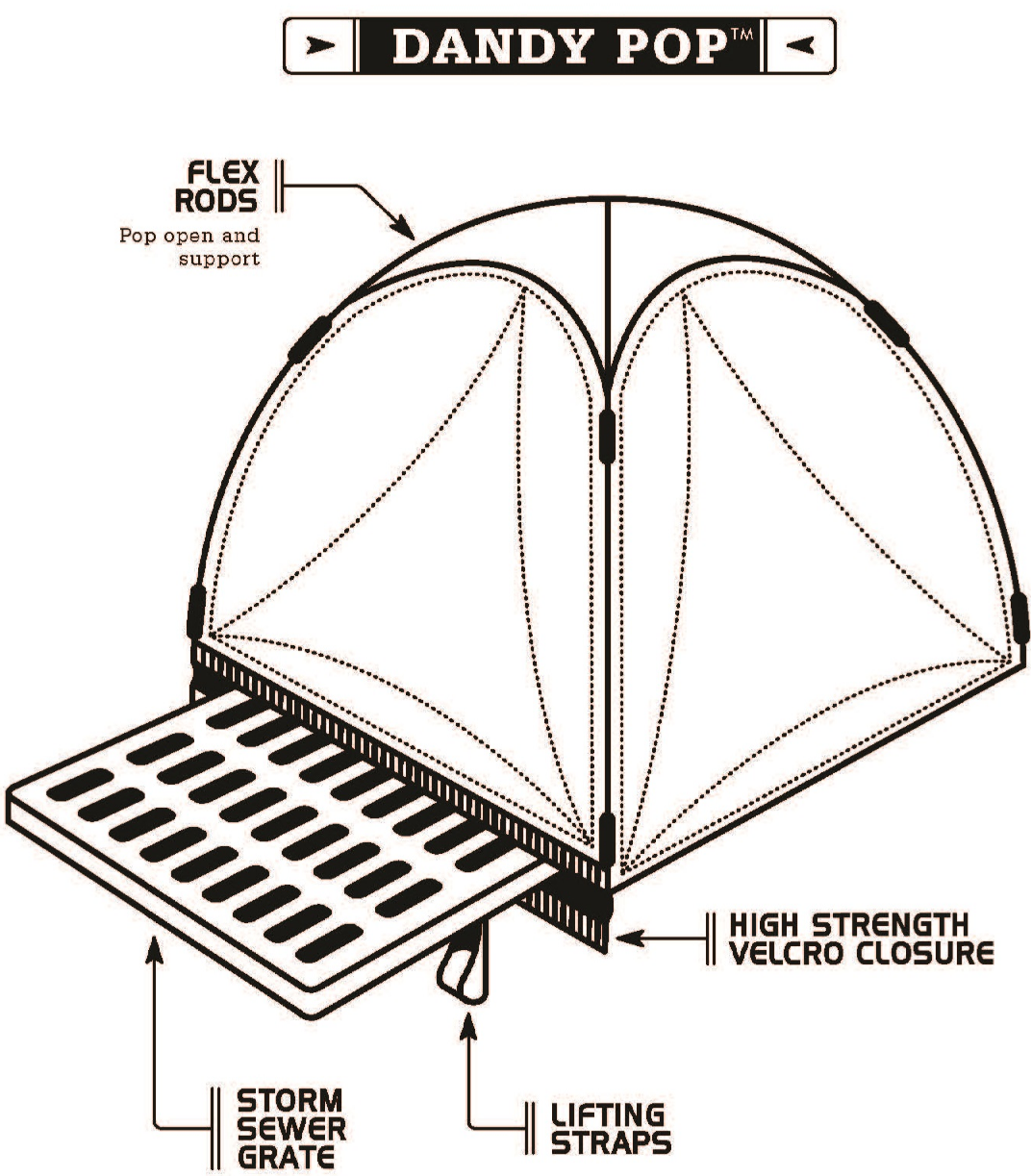
SILT FENCE DETAIL



SEDIMENT LOG STAKING (IF NEEDED)



SECTION A-A



INLET - EROSION CONTROL

Precast Drainage Structures

Square & Rectangular Drainage Inlet Memphis #3070 Inlet

Inlet Size	Wall Thick (in.)	Wt./Vert. Ft. (lbs.)	Flattop Thick (in.)	Flattop Weight (lbs.)	Bottom Thick (in.)	Base Slab (lbs.)
2' x 4'	6	1,071	8	1,180	6	1,150
32" x 32"	6	1,360	8	1,300	8	1,640
3' x 3'	6	1,071	8	1,270	6	1,230
3' x 4'	6	1,224	8	1,700	6	1,530
3' x 5'	6	1,377	8	2,220	6	1,920
4' x 4'	6	1,377	8	2,220	6	1,920
4' x 4'	8	1,904	8	2,570	6	2,910
5' x 5'	6	1,734	9	4,110	6	3,980
62" x 62"	8	2,380	9	4,600	8	4,310
7' x 7'	8	3,128	10	8,760	8	7,090
3' x 8'	6	1,836	8	3,450	6	2,760
4' x 8'	8	2,720	8	4,680	8	5,080

Materials & Features

CONCRETE: 4,000 PSI in 28 days.

REINFORCING STEEL: per ASTM A-615, Grade 60.

REINFORCING TO MEET AASHTO HS 20 LOADING.

JOINT SEALANT: Ram-Nek gasket material.

FRAME AND GRATE/COVER as required.

FORTERRA
PIPE AND PRECAST

Precast Drainage Structures

Square & Rectangular Drainage Inlet Memphis #10 Inlet

Inlet Size	Wall Thick (in.)	Wt./Vert. Ft. (lbs.)	Flattop Thick (in.)	Flattop Weight (lbs.)	Bottom Thick (in.)	Base Slab (lbs.)
2' x 4'	6	1,071	8	1,180	6	1,150
32" x 32"	6	1,360	8	1,300	8	1,640
3' x 3'	6	1,071	8	1,270	6	1,230
3' x 4'	6	1,224	8	1,700	6	1,530
3' x 5'	6	1,377	8	2,220	6	1,920
4' x 4'	6	1,377	8	2,220	6	1,920
4' x 4'	8	1,904	8	2,570	6	2,910
5' x 5'	6	1,734	9	4,110	6	3,980
62" x 62"	8	2,380	9	4,600	8	4,310
7' x 7'	8	3,128	10	8,760	8	7,090
3' x 8'	6	1,836	8	3,450	6	2,760
4' x 8'	8	2,720	8	4,680	8	5,080

Materials & Features

CONCRETE: 4,000 PSI in 28 days.

REINFORCING STEEL: per ASTM A-615, Grade 60.

REINFORCING TO MEET AASHTO HS 20 LOADING.

JOINT SEALANT: Ram-Nek gasket material.

FRAME AND GRATE/COVER as required.

FORTERRA
PIPE AND PRECAST

Precast Drainage Structures

Square Drainage Inlet Memphis #6 - 72 Inlet

Inlet Size	Wall Thick (in.)	Wt./Vert. Ft. (lbs.)	Flattop Thick (in.)	Flattop Weight (lbs.)	Bottom Thick (in.)	Base Slab (lbs.)	6 - 72 Top (lbs.)
5' x 5'	6	1,734	12	5,480	6	3,960	2,820
62" x 62"	8	2,380	12	6,133	8	4,310	2,820
7' x 7'	8	3,128	12	10,512	8	7,090	2,820

Materials & Features

CONCRETE: 4,000 PSI in 28 days.

REINFORCING STEEL: per ASTM A-615, Grade 60.

REINFORCING TO MEET AASHTO HS 20 LOADING.

JOINT SEALANT: Ram-Nek gasket material.

FRAME AND GRATE/COVER as required.

FORTERRA
PIPE AND PRECAST

REVISION	DESCRIPTION OF CHANGE	APPROVAL DATE



ASI ASHMONT
DEVELOPER: ASI ASHMONT
ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

DWG NO. C5.1

SHEET 1 OF 3
DIVISION OF ENGINEERING
DETAILS
LOCATION: ROAD 'E'
LAKELAND, TENNESSEE

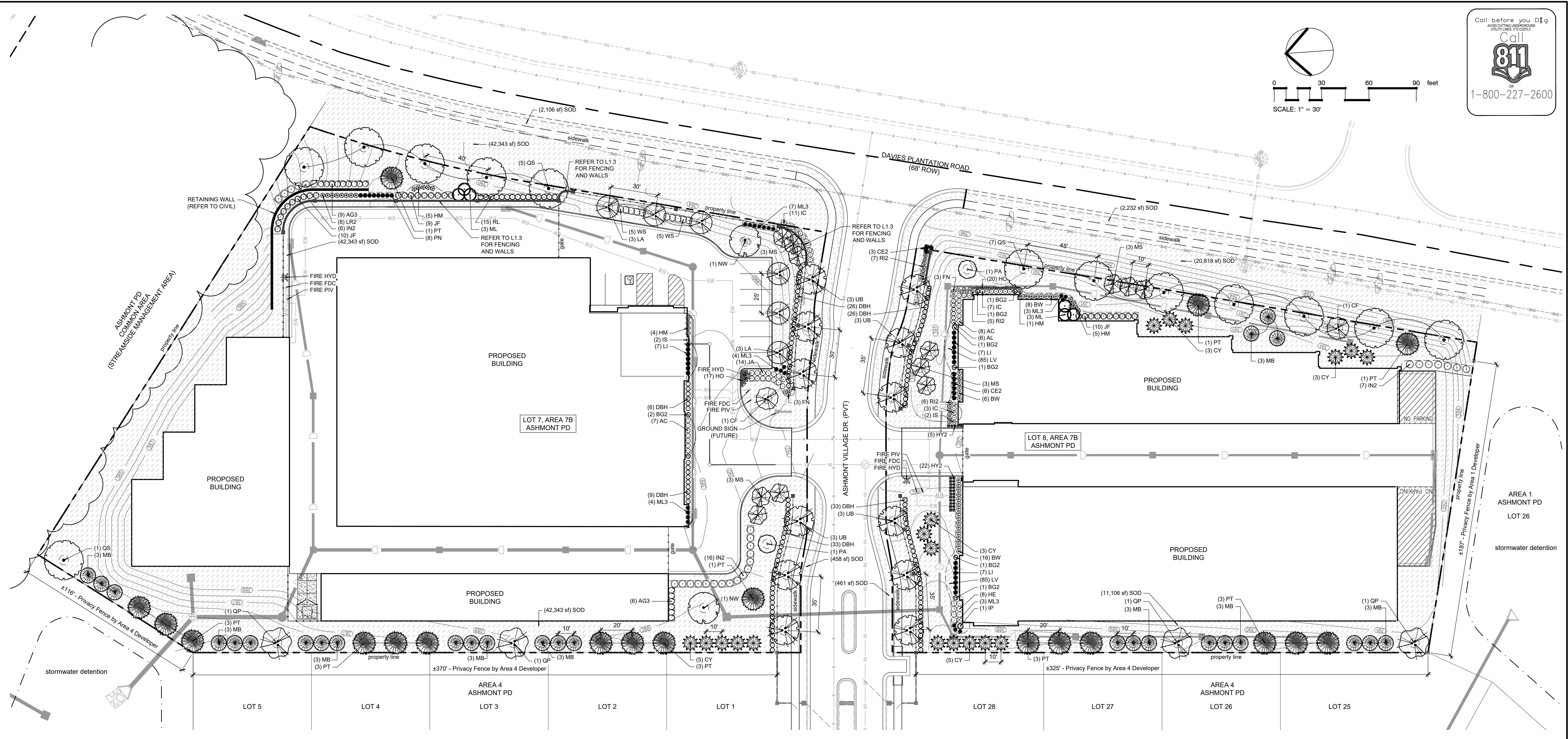
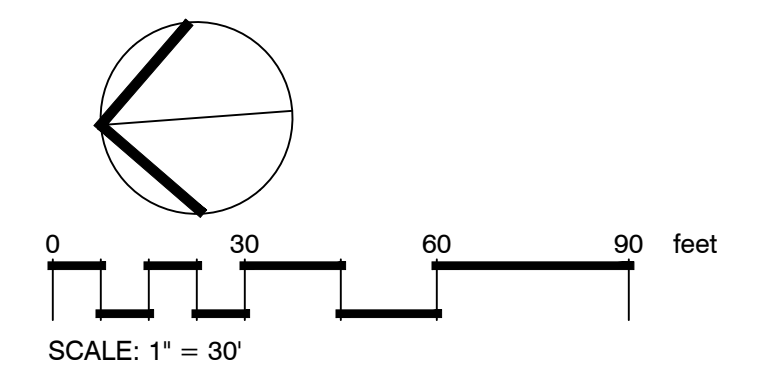
SURVEY: HARRIS
DESIGN BY: CES-RBN
DRAWN BY: CES-RBN

DATE: 12/4/25
DATE: 5/14/26
DATE: 5/14/26

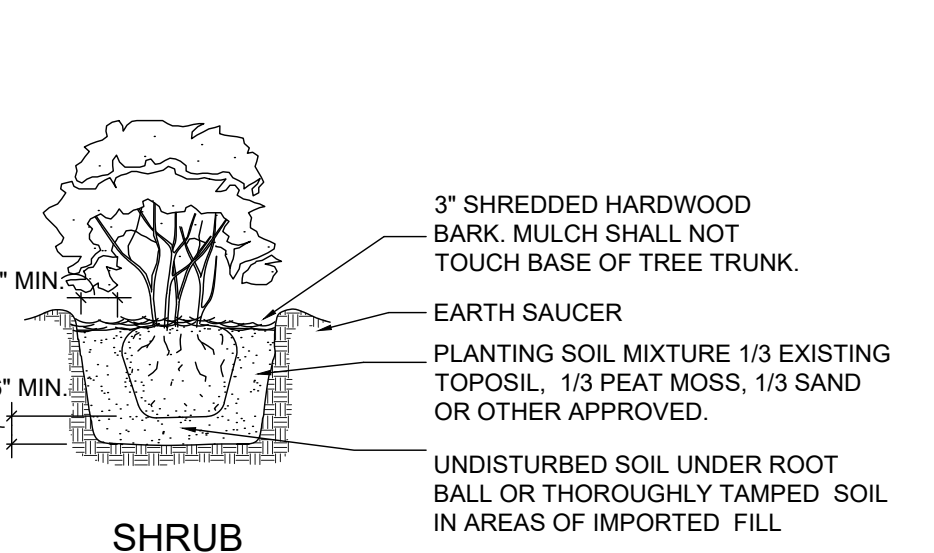
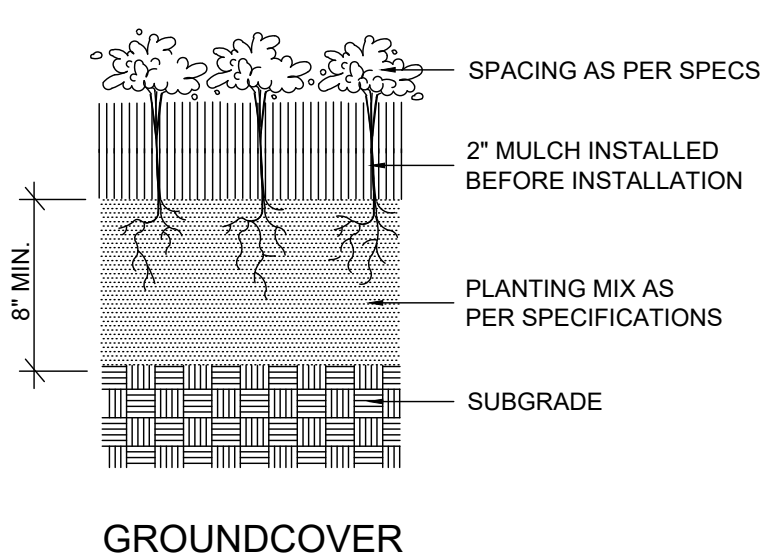
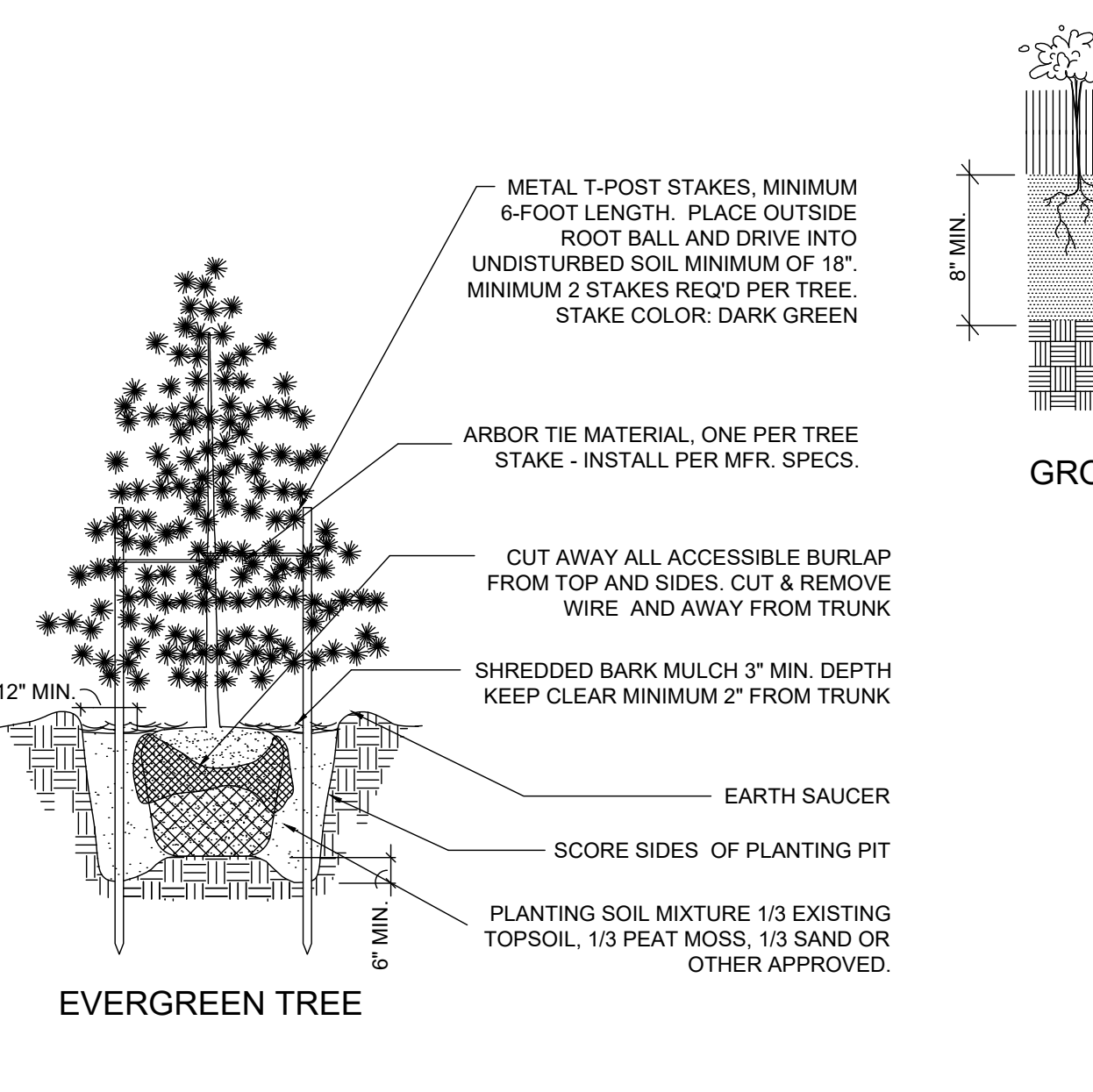
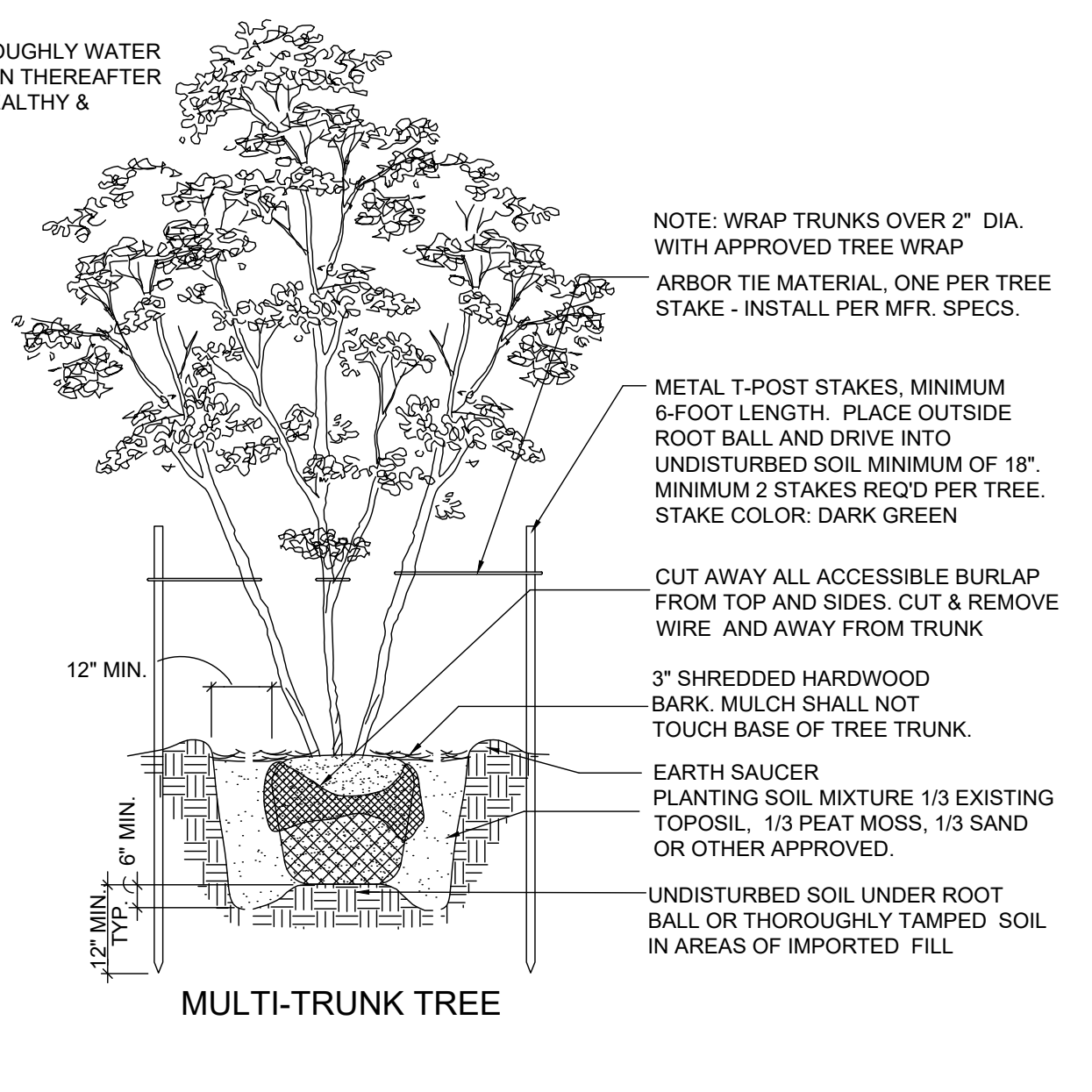
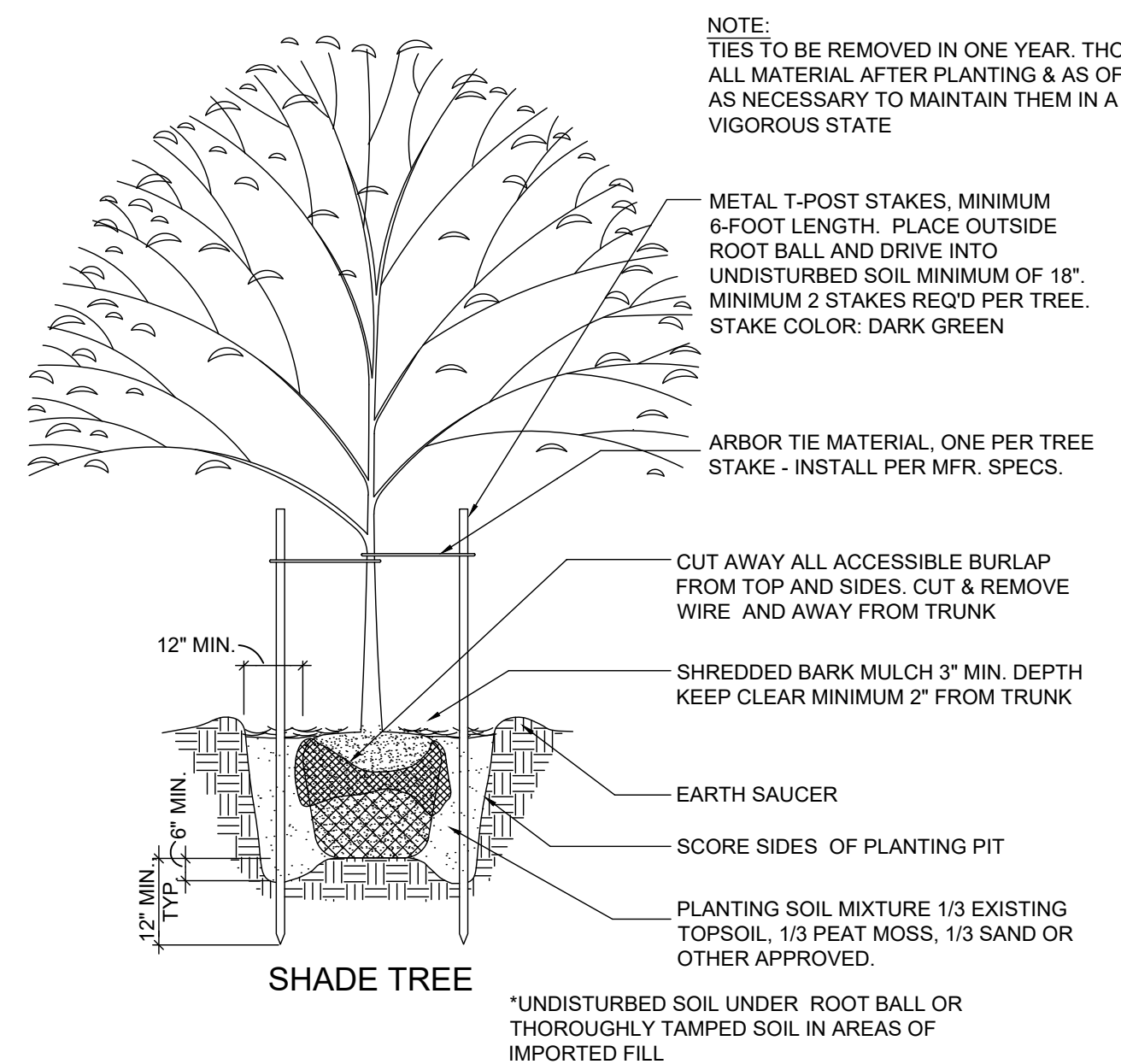
PROJECT #: 2603
BOOK:
SCALE: NTS

REVIEWED
DATE

CITY ENGINEER



MASTER LANDSCAPE
 Scale: 1" = 30'-0"



UTILITY LEGEND (Where Applicable)

- SS = SANITARY SEWER LINE
- FM = FORCE MAIN SEWER
- G = NATURAL GAS LINE
- OHE = ELECTRIC LINE
- W = WATER MAIN LINE
- D = STORM DRAIN
- SD = STORM DRAIN MANHOLE
- SS = SANITARY SEWER MANHOLE
- FH = FIRE HYDRANT

LANDSCAPE ARCHITECT:
ils
 INTEGRATED LAND SOLUTIONS, PLLC
 9967 Benwood Creek Cv., Collierville, TN 38017
 901.493.6996 corybrady@gmail.com

REVISION

ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

PRELIMINARY NOT FOR CONSTRUCTION

May 14, 2026

**AREA 7B - LOTS 7 & 8
 ASHMONTPD**

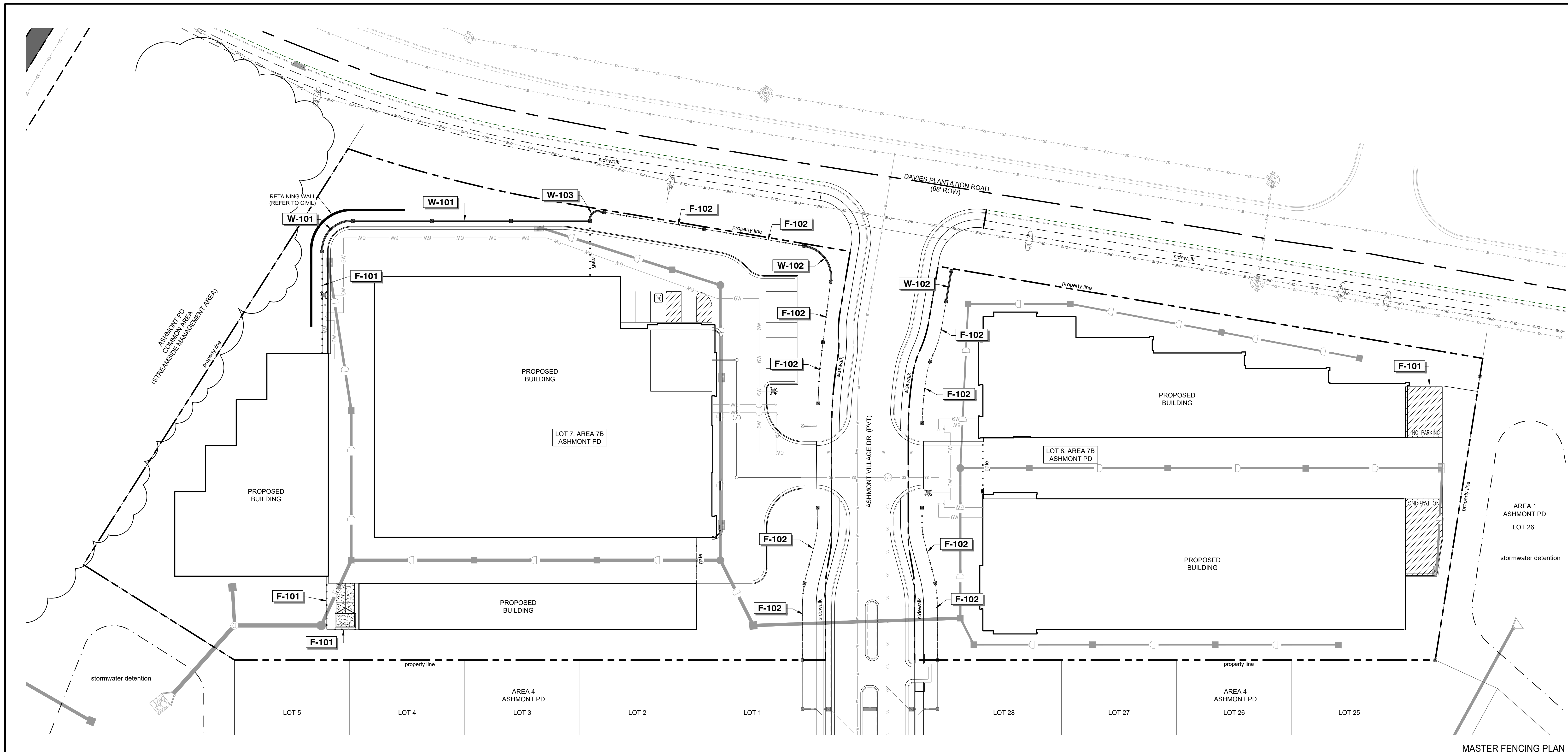
DEVELOPER: ABSOLUTE STORAGE, LLC
 ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

DIVISION OF ENGINEERING
LANDSCAPE PLAN
 LAKELAND, TENNESSEE

DESIGN: HARRIS DATE: 5/26 CKD: CBB DATE: 5/26 SCALE: 1"=30'

CITY ENGINEER DATE

SHEET 1 OF 3



MASTER FENCING PLAN

Scale: 1" = 30'-0"

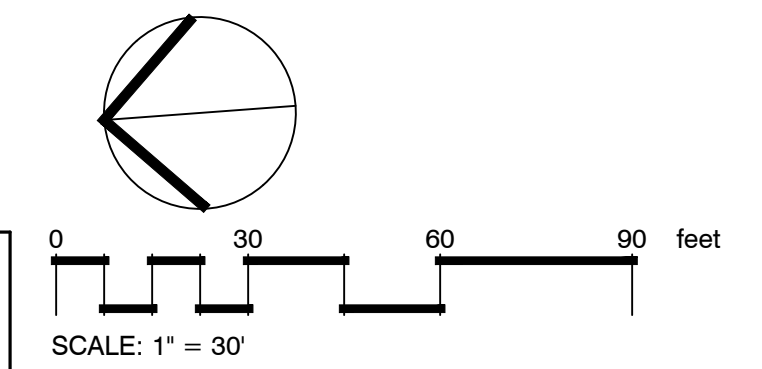
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LANDSCAPE ARCHITECT:

INTEGRATED LAND SOLUTIONS, PLLC
 9967 Bemwood Creek Cv., Collierville, TN 38017
 901.493.6996 corybrady@gmail.com

ITEM NO.	REVISION	DESCRIPTION OF CHANGE	APPROVAL DATE



SHEET 3 OF 3

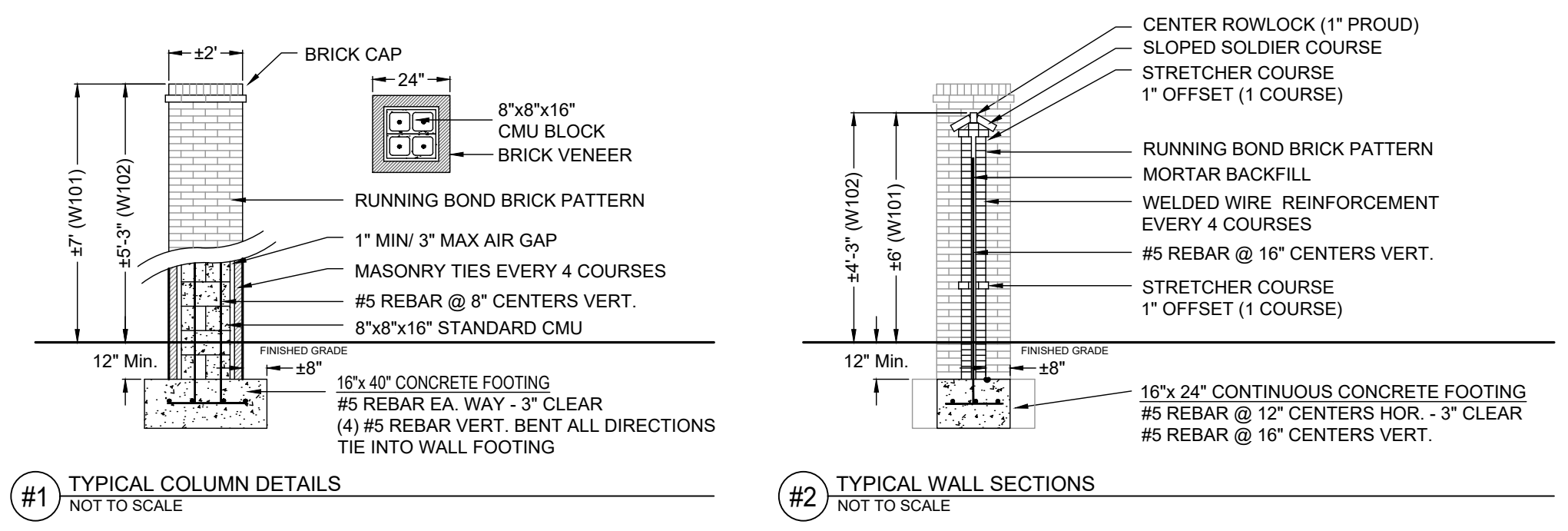
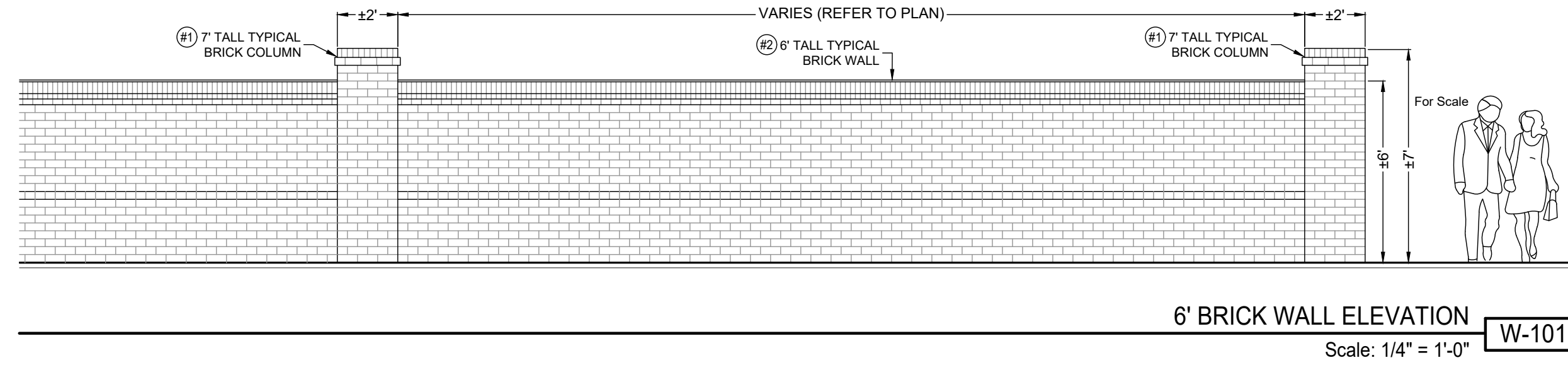
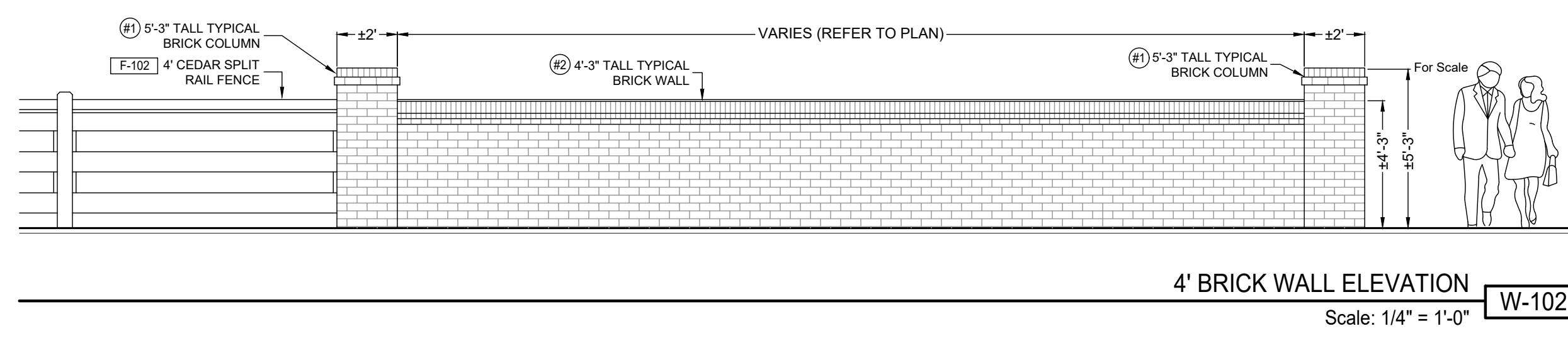
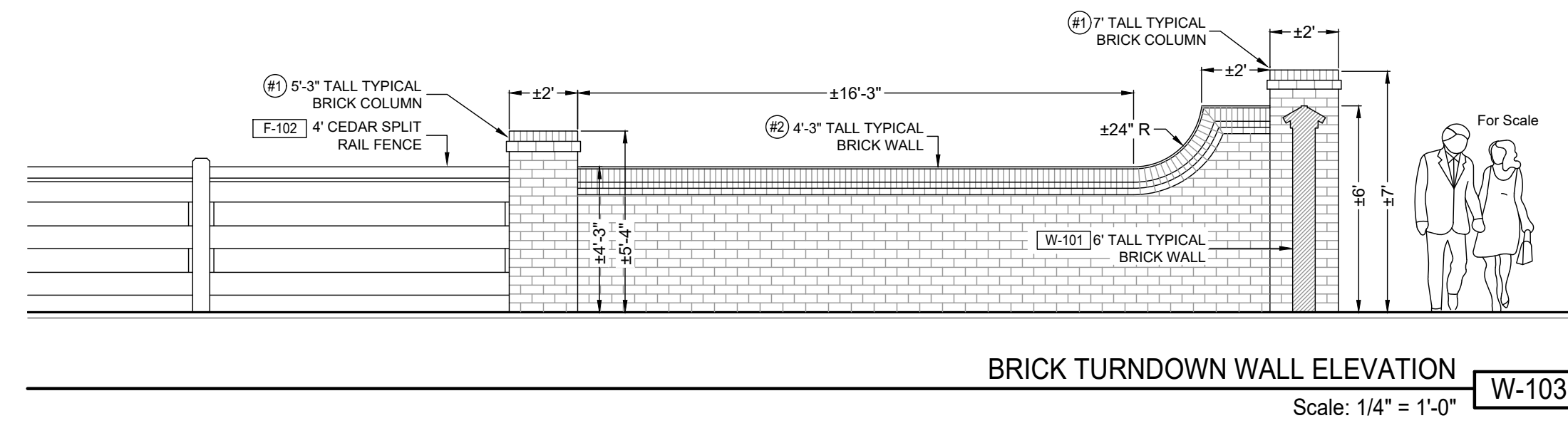
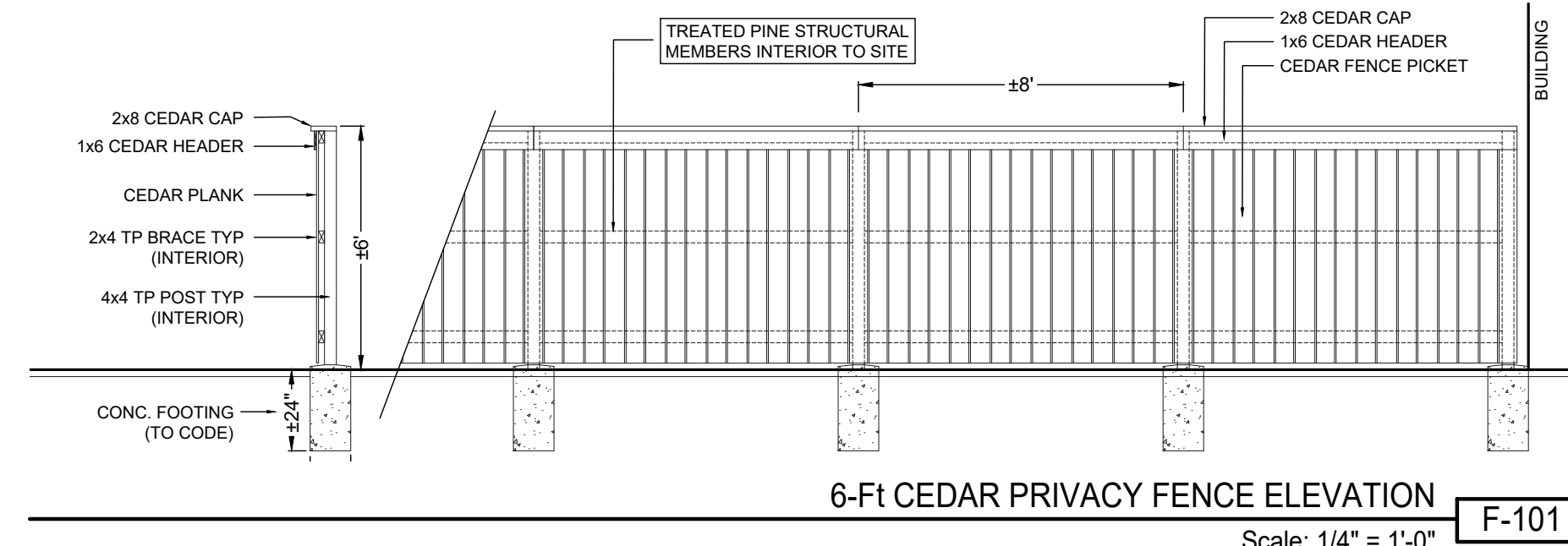
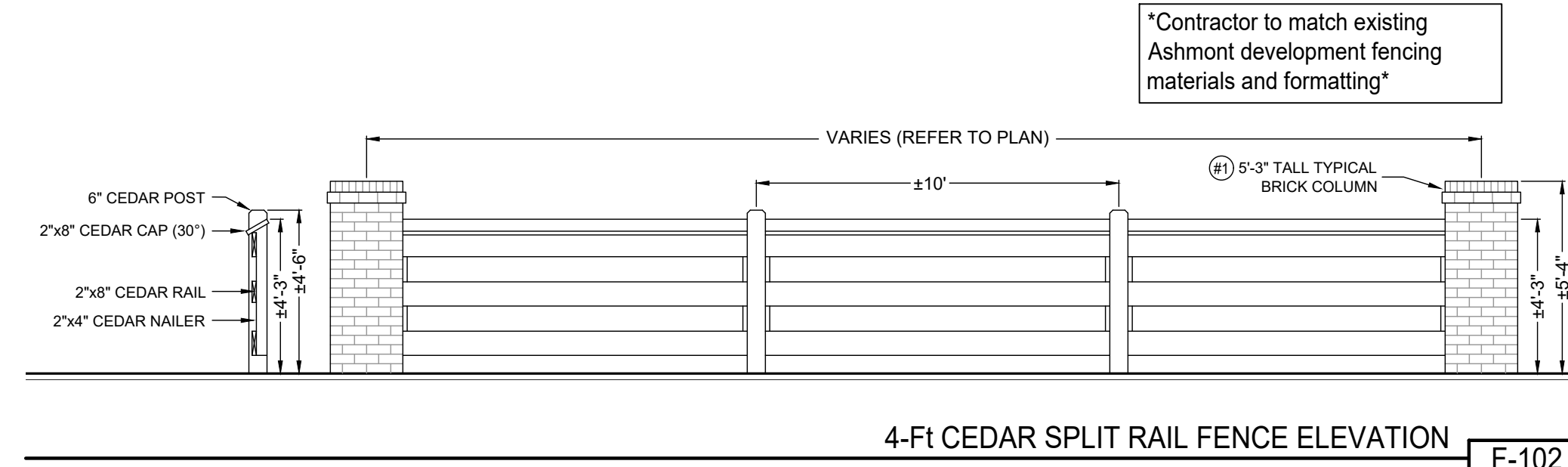
DIVISION OF ENGINEERING
FENCING PLAN
 LAKELAND, TENNESSEE

SURVEY: HARRIS DATE: 12/22 BOOK: _____
 DESIGN: CBB DATE: 5/26 CKD: CBB DATE: 5/26 SCALE: NOTED
 CITY ENGINEER _____ DATE _____

**AREA 7B - LOTS 7 & 8
 ASHMONT PD**
 DEVELOPER: ABSOLUTE STORAGE, LLC
 ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

GENERAL NOTES

- This landscape plan was prepared using data provided by other professionals. This landscape plan intended to provide tree, shrub, and groundcover specifications only. Please refer to the civil engineer's and/or architect's plans as necessary for site related details and specifications. No guarantee of accuracy pertaining to the site plan elements illustrated is expressed or conveyed.
- All plant material shall conform to the standards of the "American Standard For Nursery Stock" as published by the American Association of Nurserymen.
- All trees, shrubs and ground covers shown on the landscape plan shall be installed as the species specified in the plant schedule unless requested in writing by the owner who reserves the right to substitute similar plant material. Subject to approval by the municipality.
- The landscape architect and the owner reserves the right to reject any or all planting materials which in their opinion do not appear to fit for this planting installation.
- Any substitutions or changes must be approved by the landscape architect.
- The plant quantities illustrated on the plan shall supersede the quantities listed in the plant schedule. The contractor shall be responsible for verification of plant quantities.
- Plant spacing is approximate. Space all shrubs equally to fill the intended space using the quantity illustrated.
- Plant sizes are minimums. The contractor shall meet all size requirements listed. No undersized plant material will be accepted. Any substitutions must be approved by the owner, landscape architect, and municipality.
- The landscape contractor shall locate a source for all planting materials prior to submitting a bid. A minimum of 1 in 10 plants of each plant species shall have a label attached providing the common and scientific name of said plant.
- All plants shall be vigorous, healthy material free of pests and disease. Use appropriate fertilizers in recommended quantities.
- The landscape contractor shall provide a one-year warranty on all materials from date of installation. The landscape contractor or the owner's designee shall be responsible for maintenance for one year. The name and contact information for the responsible party must be on file with the landscape inspector. The property owner is required by municipal ordinance to maintain the landscaping and grassed areas in good condition, thereafter.
- It is the landscape contractor's responsibility to verify with the general contractor that the subgrade preparation has been completed and four (4) inches of topsoil has been placed on all proposed lawn areas and planting beds. The landscape contractor shall not begin any planting / installation until the general contractor has completed the subgrade work and the topsoil has been installed.
- Any material that dies or defoliates prior to acceptance of the work will be promptly removed and replaced. Replacements shall also be guaranteed for a period of one year from date of installation.
- Utility locations illustrated are conceptual. The landscape contractor shall have all utilities located and identified prior to installation of any plant materials. Landscape material shall be adjusted accordingly where conflicts exist.
- The contractor assumes responsibility for any damages to such utilities incurred by his company. One Call= 811
- Prior to installation of sod, all proposed lawn areas shall be disked and raked smooth to a uniform grade as shown on the grading plan, be free of weeds and other debris, and the area fertilized as specified. After installation, sod shall be rolled at a sufficient rate to promote adequate root growth. All sod shall be laid within 24 hours of arriving at the site.
- Prior to the installation of any plant material, all bed areas shall be amended to provide a planting soil mix composed of 2/3 existing topsoil and 1/3 pro-mix, garden mix or equal. If the existing soil is composed of primarily clay, the existing soil shall be removed at a depth of 18" and replaced with pro-mix, garden mix or equal and tilled under to a 24" depth.
- A pre-emergent herbicide shall be applied to all shrub beds prior to the installation of plant material. The herbicide is to be applied per manufacturer's specifications and all state and local codes. Advise the owner of herbicide type and quality prior to application.
- Adjustments may be made to the plan to adapt to actual field conditions, avoid utility conflicts, or the obstruction of the sight triangle at access points or intersections.
- Mulch tree and shrub planting areas 3" deep immediately after installation. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.
- All plantings shall be thoroughly watered at the time of planting and as often thereafter as needed to keep the vegetation adequately hydrated.
- Stake / guy all trees only when necessary. When high winds or other conditions occur, the landscape contractor shall take whatever precautions he deems necessary to protect the survival and appearance of the plants. All ties must be removed at the end of the one-year warranty period.
- A 6-inch shovel cut bed edge shall be maintained along all landscape bed and tree well perimeters
- No shrub or tree shall be planted within 3 feet of any fire hydrant, electrical transformer or mechanical unit. Adjust plant material as necessary accommodate actual field condition.
- Seasonal color and groundcover quantities refer to square footage. Space as required for species.
- Any areas that are not specified for plant material shall be covered with seed or sod as specified, including the area between the property line and the edge of pavement. These areas shall be properly loosened and amended to promote growth.
- Any banks, drainage ditches, or swales, must have a finished grade, be stabilized with sod, erosion control mat, stand of grass from seed or other approved technique, provide positive drainage with no pooling, and be easily maintained post construction. Coordinate with civil engineering plans and specifications.
- The contractor shall strictly follow ordinances, approved plans, planting details and notes.
- Adjust planting beds as needed to provide for and maintain proper positive drainage.
- All disturbed areas shall be seeded or sodded as specified.
- All ground mounted equipment or meters must be screened by landscaping, fencing or other approved measures to the satisfaction of staff, unless the equipment is required to maintain visibility and access, or adhere to other codes. Additional plant material may be required to screen utility equipment not shown on these plans.
- A fully automated, professionally designed irrigation system shall be installed having proper head to head coverage.
- Keep all irrigation lines and apparatus and landscape materials within the property boundaries, and out of city right-of-way. Except as otherwise required.
- Adjust irrigation spray to limit waste of water and prevent spray into street.
- Backflow preventers shall be located in the general location illustrated on the landscape plan. Incorporate the lowest profile cover available and screened with evergreen shrubs. Faux stone covers shall be prohibited.**



CONSTRUCTION DETAILS
Scale: 1/4" = 1'-0"

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT	REMARKS
TREES						
CF	2	Forest Pansy Eastern Redbud / Cercis canadensis 'Forest Pansy'	1.5" Cal.	B&B		
CY	19	Yoshino Japanese Cedar / Cryptomeria japonica 'Yoshino'	8' Ht.	B&B		
LA	6	Arnold Tulip Poplar / Liriodendron tulipifera 'Arnold'	2" Cal.	B&B		
MB	27	Bracken's Southern Magnolia / Magnolia grandiflora 'Bracken's'	6' Ht.	Pot		
ML	6	Dwarf Southern Magnolia / Magnolia grandiflora 'Little Gem'	5' Ht.	Pot		
MS	12	Sweet Bay / Magnolia virginiana	8' Ht.	B&B		
NW	2	Wildfire Tupelo / Nyssa sylvatica 'Wildfire'	2" Cal.	B&B		
PT	19	Loblolly Pine / Pinus taeda	8' Ht.	B&B		
PA	2	Okame Flowering Cherry / Prunus x 'Okame'	1.5" Cal.	B&B		
QP	4	Willow Oak / Quercus phellos	2" Cal.	B&B		
QS	13	Shumard Oak / Quercus shumardii	2" Cal.	B&B		
UB	12	Bosque Lacebark Elm / Ulmus parvifolia 'UPMTF'	2" Cal.	B&B		

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT	SPACING	REMARKS
SHRUBS							
AG3	15	Glossy Abelia / Abelia x grandiflora	3 gal/18" Ht.	Pot	48" o.c.		
AL	6	Little Richard Glossy Abelia / Abelia x grandiflora 'Little Richard'	3 gal/18" Ht.	Pot	33" o.c.		
BG2	8	Graham Blandy Common Boxwood / Buxus sempervirens 'Graham Blandy'	3 gal/18" Ht.	Pot	36" o.c.		
BW	30	Wintergreen Korean Boxwood / Buxus sinica insularis 'Wintergreen'	24" Ht.	Pot	36" o.c.		
CE2	9	Hamelin Fountain Grass / Cenchrus alopecuroides 'Hamelin'	3 gal/18" Ht.	Pot	36" o.c.		
FN	6	Show Off Sugar Baby Dwarf Forsythia / Forsythia x intermedia 'Nimbus'	3 gal/18" Ht.	Pot	36" o.c.		
FN	6	Missouri Gold Reblooming Daylily / Hemerocallis x	Quart	Pot	18" o.c.		
HY2	27	Stella de Oro Daylily / Hemerocallis x 'Stella de Oro'	Quart	Pot	18" o.c.		
HO	37	Invincibelle Spirit II Hydrangea / Hydrangea arborescens 'NCHA2'	3 gal/18" Ht.	Pot	36" o.c.		
HE	8	Endless Summer The Original Hydrangea / Hydrangea macrophylla 'Balmor'	3 gal/18" Ht.	Pot	42" o.c.		
DBH	133	Dwarf Burford Holly / Ilex cornuta 'Burfordii Nana'	3 gal/18" Ht.	Pot	36" o.c.		
IC	21	Carissa Holly / Ilex cornuta 'Carissa'	3 gal/18" Ht.	Pot	36" o.c.		
IS	4	Sky Pencil Japanese Holly / Ilex crenata 'Sky Pencil'	24" Ht.	Pot	30" o.c.		
IP	1	Patriot Red Holly / Ilex x 'Conot'	5' Ht.	B&B	48" o.c.		
IN2	29	Nellie R. Stevens Holly / Ilex x 'Nellie R. Stevens'	6' Ht.	B&B	60" o.c.		
JF	29	Sea Green Juniper / Juniperus chinensis 'Sea Green'	3 gal/18" Ht.	Pot	48" o.c.		
JA	14	Andorra Juniper / Juniperus horizontalis 'Andorra'	3 gal/18" Ht.	Pot	42" o.c.		
LI	21	Cerise Charm Fringe Flower / Loropetalum chinense rubrum 'Kurobijin'	3 gal/18" Ht.	Pot	36" o.c.		
LR2	8	Ruby Fringe Flower / Loropetalum chinense rubrum 'Ruby'	3 gal/18" Ht.	Pot	36" o.c.		
ML3	21	Little Kitten Eulalia Grass / Miscanthus sinensis 'Little Kitten'	3 gal/18" Ht.	Pot	36" o.c.		
PN	8	Northwind Switch Grass / Panicum virgatum 'Northwind'	3 gal/18" Ht.	Pot	36" o.c.		
RL	15	Mrs. G.G. Gerbing Indica Azalea / Rhododendron indicum 'Mrs. G.G. Gerbing'	3 gal/18" Ht.	Pot	42" o.c.		
AC	15	Autumn Sweetheart Encore Azalea / Rhododendron x 'Robleja'	3 gal/18" Ht.	Pot	36" o.c.		
RI2	18	Pink Drift Groundcover Rose / Rosa x 'Meijoccon'	3 gal/18" Ht.	Pot	30" o.c.		
WS	10	Sonic Bloom Pink Weigela / Weigela florida 'Bokrasopin'	3 gal/18" Ht.	Pot	48" o.c.		

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	SPACING	REMARKS
GROUND COVERS							
SOD	79,524 sf	Bermud Grass / Cynodon dactylon '419 Hybrid'	sod				
LV	170	Variegated Lilyturf / Liriope muscari 'Variegata'	#SP4	Pot	12" o.c.		

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	QTY	DETAIL	HEIGHT	MATERIAL	COLOR	FINISH
WOOD							
F-101	6-foot Cedar Privacy Fence	167 lf		6-foot	Cedar	Natural	Sealed
F-102	4-foot Cedar Split Rail Fence	473 lf		4'-3"	Cedar	Black Forest Green (HC-187)	Sealed
WALL							
W-101	6-foot Brick Wall w/ Columns	186 lf		6-foot	Old Jefferson - Statesville Brick. Buff Mortar. White Sand		
W-102	4-foot Brick Wall w/Columns	53 lf		4-foot	Old Jefferson - Statesville Brick. Buff Mortar. White Sand		
W-103	Turndown Wall	13 lf		Turndown	Old Jefferson - Statesville Brick. Buff Mortar. White Sand		

- Contractor to match existing Ashmont development fencing materials and formatting.
- Quantities are estimated. Contractor shall verify.

REVISION

ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

LANDSCAPE ARCHITECT: **ils** INTEGRATED LAND SOLUTIONS, PLLC
9967 Bemwood Creek Cv., Collierville, TN 38017
901.493.6996 corybrady@gmail.com

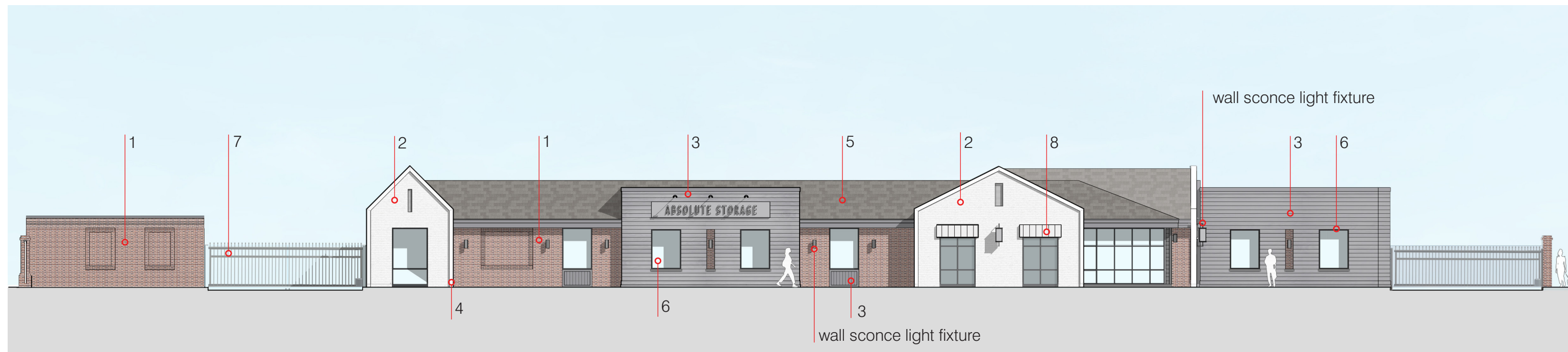
PRELIMINARY NOT FOR CONSTRUCTION
MAY 14, 2026

DIVISION OF ENGINEERING
DETAILS AND NOTES
LAKELAND, TENNESSEE

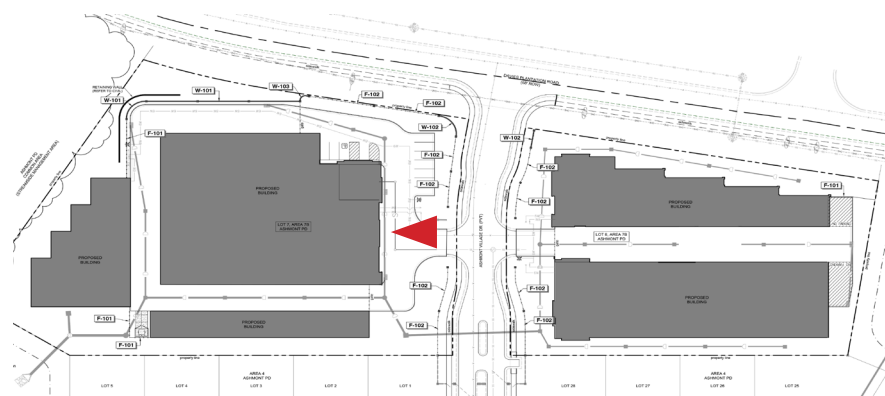
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DESIGN: _CBB_ DATE: 5/26 CKD: _CBB_ DATE: 5/26 SCALE: 1"=30'
CITY ENGINEER _____ DATE _____

AREA 7B - LOTS 7 & 8
ASHMONT PD
DEVELOPER: ABSOLUTE STORAGE, LLC
ENGINEER: CIVIL ENGINEERING SOLUTIONS, LLC

BUILDING ELEVATIONS



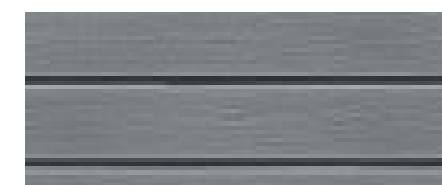
ASHMONT VILLAGE DRIVE-MAIN OFFICE BUILDING ELEVATION



1. BRICK VENEER
Old Jefferson Red Brick-Statesville, Buff Mortar with White Sand



2. BRICK VENEER
PAINTED WHITE BRICK [MODULAR]



3. FIBER CEMENT BOARD SIDING
PAINTED GREY



4. FIBER CEMENT BOARD TRIM
PAINTED WHITE



5. ARCHITECTURAL SHINGLES
WEATHERED WOOD



6. STOREFRONT GLAZING
DARK BRONZE FINISH

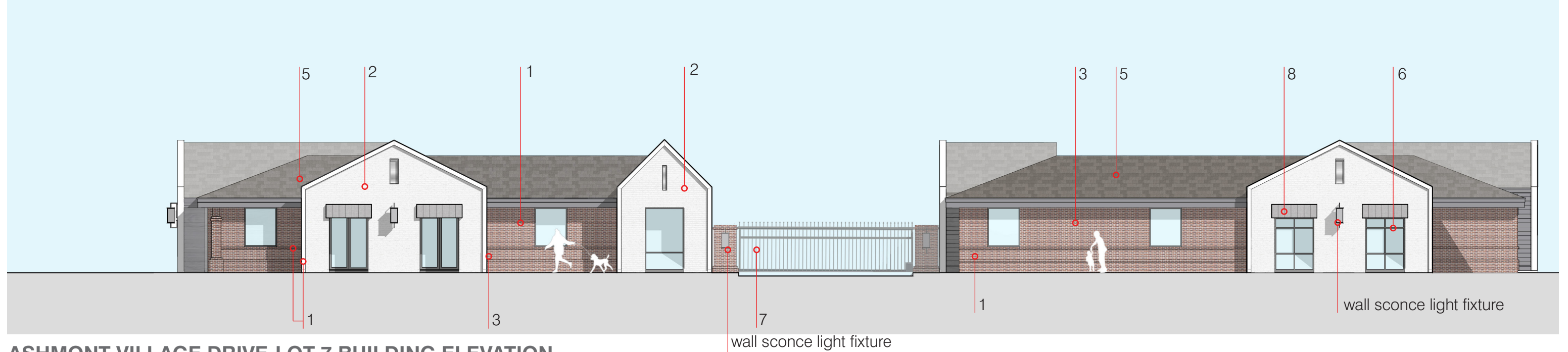


7. PICKET METAL GATE
BLACK FINISH

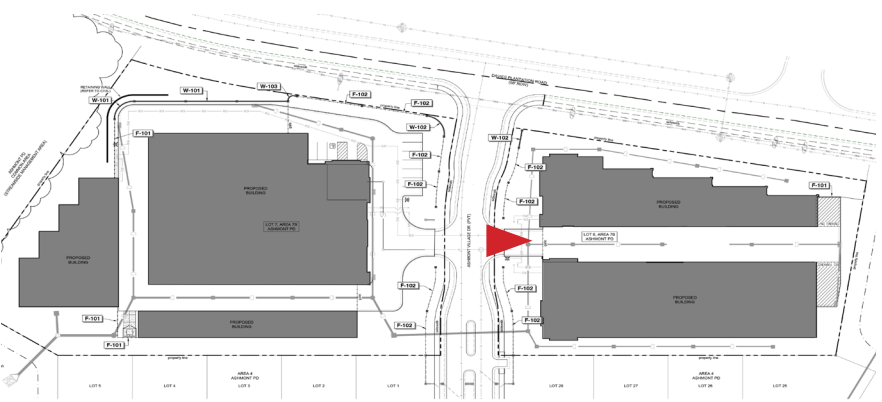


8. METAL AWNING
GREY [STOCK COLOR]

BUILDING ELEVATIONS



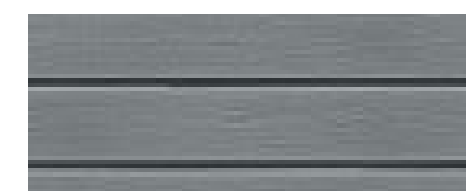
ASHMONT VILLAGE DRIVE-LOT 7 BUILDING ELEVATION



1. BRICK VENEER
Old Jefferson Red Brick-Statesville, Buff Mortar with White Sand



2. BRICK VENEER
PAINTED WHITE BRICK [MODULAR]



3. FIBER CEMENT BOARD SIDING
PAINTED GREY



4. FIBER CEMENT BOARD TRIM
PAINTED WHITE



5. ARCHITECTURAL SHINGLES



6. STOREFRONT GLAZING

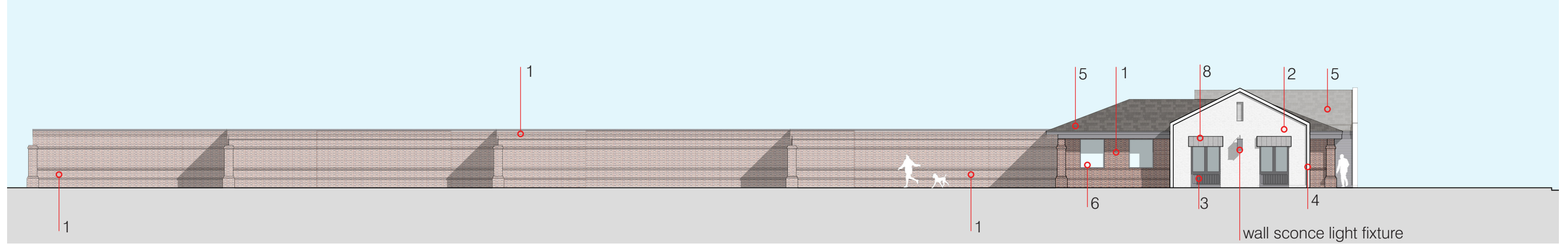


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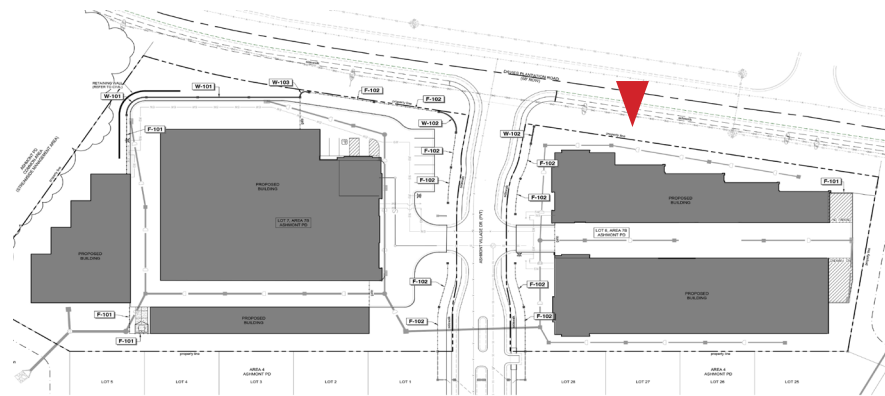


8. METAL AWNING
GREY [STOCK COLOR]

BUILDING ELEVATIONS



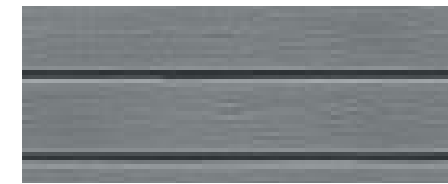
DAVIES PLANTATION ROAD BUILDING ELEVATION



1. BRICK VENEER
Old Jefferson Red Brick-Statesville, Buff Mortar with White Sand



2. BRICK VENEER
PAINTED WHITE BRICK [MODULAR]



3. FIBER CEMENT BOARD SIDING
PAINTED GREY



4. FIBER CEMENT BOARD TRIM
PAINTED WHITE



5. ARCHITECTURAL SHINGLES



6. STOREFRONT GLAZING

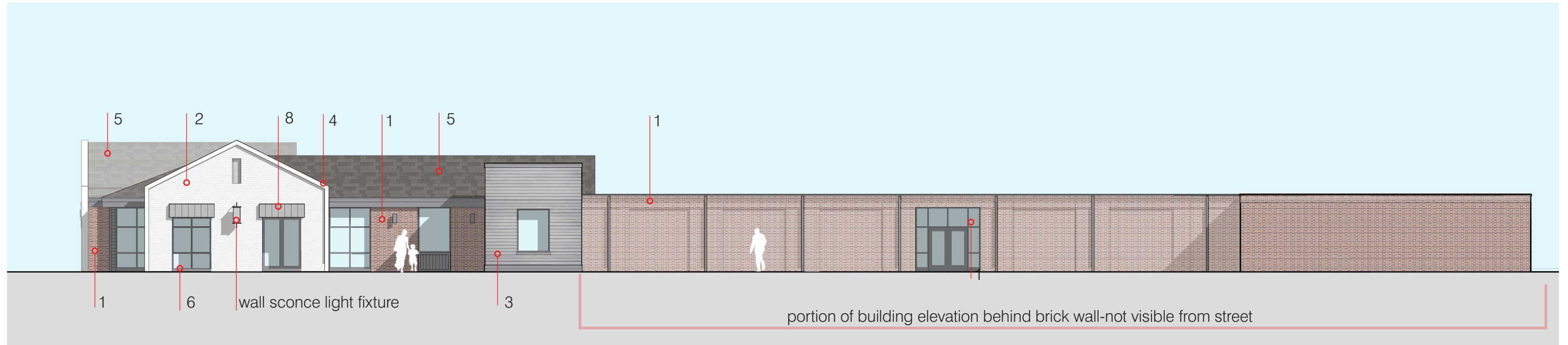


7. PICKET METAL GATE
BLACK FINISH

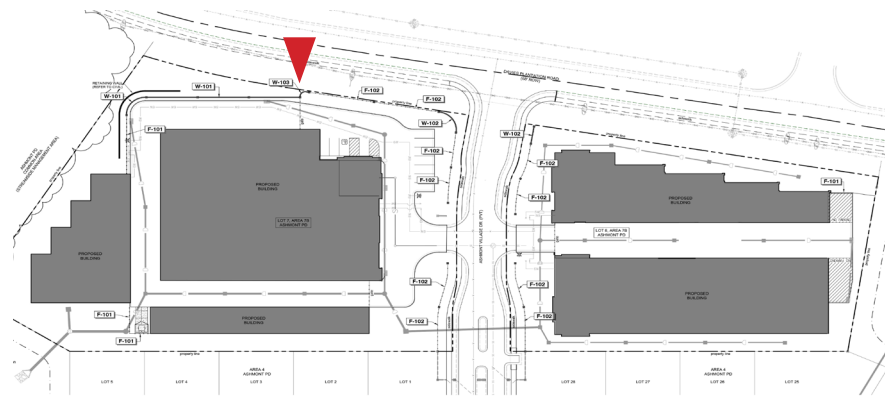


8. METAL AWNING
GREY [STOCK COLOR]

BUILDING ELEVATIONS



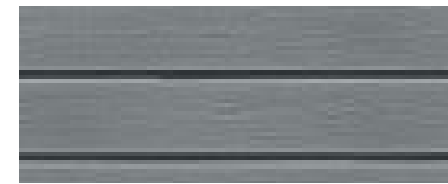
DAVIES PLANTATION ROAD BUILDING ELEVATION



1. BRICK VENEER
Old Jefferson Red Brick-Statesville, Buff Mortar with White Sand



2. BRICK VENEER
PAINTED WHITE BRICK [MODULAR]



3. FIBER CEMENT BOARD SIDING
PAINTED GREY



4. FIBER CEMENT BOARD TRIM
PAINTED WHITE



5. ARCHITECTURAL SHINGLES



6. STOREFRONT GLAZING



7. PICKET METAL GATE
BLACK FINISH



8. METAL AWNING
GREY [STOCK COLOR]

April 27, 2026

Paul Luker, Planning Director
City of Lakeland
10001 Hwy 70
Lakeland, TN 38002

RE: Trip Generation, Ashmont P.D. Storage Units

Dear Mr. Luker;

The purpose of this letter report is to present the findings of the trip generation analysis for a proposed new mini storage facility in the Ashmont P.D. in Lakeland, TN. The development is located on the west side of Davies Plantation Road and will be served by a new roadway which will intersect with Davies Plantation. The site plan is shown in Figure 1.

As mentioned, access will be provided by a new roadway, Ashmont Village Drive, which will also serve the 48 unit Ashmont Village residential community. The new 2-lane roadway will bisect the site and intersect at a tee intersection with Davies Plantation. There will be five individual buildings on the site, three to the north with a total area of 57,975 sq. ft., and two to the south with a total area of 38,250 sq. ft. Entrance to either side will be via a driveway onto the new roadway. Davies Plantation is classified as a major collector and had an AADT of 4,648 in 2025.

The number of trips expected to be generated by the development was determined using the *ITE Trip Generation Manual, 12th Edition*. The most appropriate land use code is 151- Mini Warehouse Self Storage. Table 1 contains a summary of the trip generation values.

**TABLE 1
TRIP GENERATION
ABSOLUTE
STORAGE
MANAGEMENT**

Land Use	ITE Code	Basis	Units	Daily		AM		PM		SAT	
				IN	OUT	IN	OUT	IN	OUT	IN	OUT
Mini Warehouse	151	Sq. Ft. (1000)	96.225	62	62	5	3	6	7	10	6

A review of this table shows the site trip generation to be very low, significantly below the level that will typically warrant a full traffic impact study.

Sincerely,

Martin E. Lipinski, P.E., Ph.D.
774 E. Snowden Circle
Memphis, TN 38104



THE INFORMATION SHOWN WAS COMPILED FROM NUMEROUS SOURCES AND IS BELIEVED TO BE CORRECT; HOWEVER, NO WARRANTY IS EXPRESSED OR IMPLIED.



June 25, 2025
Lot 7 & Lot 8 Concept
ASHMONT P.D.
 LAKELAND, TENNESSEE

PREPARED FOR:
ABSOLUTE
 STORAGE MANAGEMENT
 1138 N Germantown Pkwy, Ste 101-371, Cordova, TN 38016

25012-M02.dwg © Copyright: Property Solutions

Ashmont Developer, LLC
Design Review Committee

May 4, 2026

Mr. Brady,

Thank you for the submittal for landscape and architecture for the proposed Absolute Storage facility on Davies Plantation.

Please let this letter serve as approval of both architecture and landscape design,

No further action is required.

Sincerely,

Vince Smith