



Municipal Planning & Design Review Commission
Regular Meeting Agenda
Thursday, May 14, 2026, 5:30 PM
City Hall, Lakeland, Tennessee 38002

- I. CALL TO ORDER:
- II. ROLL CALL:
- III. APPROVAL OF MINUTES OF PREVIOUS MEETING:
 1. **Regular Meeting Minutes** - April 9, 2026
- IV. PUBLIC DISCUSSION:
- V. REPORTS OF OFFICERS AND COMMITTEES:
- VI. UNFINISHED BUSINESS:
- VII. NEW BUSINESS:
 1. **Action** - approval of a revised site plan for landscaping for Dutch Bros Coffee.
 2. **Action** - approval for the subdivision Final Plat at Brunswick Commercial property on Highway 64.
 3. **Action** - approval of the site plan for Common Open Space C and H site plan at the Willows at the Lake.
 4. **Action** - approval of a Preliminary Plat for the Lakeland Meadows Planned Development Phase II.
 5. **Action** - approval of a Final Plat for the Lakeland Meadows Planned Development Lots A and B.
 6. **Action** - approval recommendation to the Board of Commissioners to adopt the street scape text amendment proposed in the Highway 70 Corridor study.
- VIII. ANNOUNCEMENTS:

IX. ADJOURNMENT:

Municipal Planning & Design Review Commission
Regular Meeting Agenda Minutes
Thursday, April 9, 2026, 5:30 PM
City Hall, Lakeland, Tennessee 38002

I. CALL TO ORDER:

The meeting was called to order by Chair Jason Eaton 5:30 p.m. on Thursday, April 9, 2026.

II. ROLL CALL:

Adam Henry	Present
Amber Hitchcock	Present
Sal Feraci	Present
Carl Helton	Present
Cat Wright	Present
Jason Eaton	Present
Commissioner Atkinson	Absent
Shawn Rowland	Absent
Bill Sheridan	Absent

Staff personnel in attendance were City Manager Emily Harrell, Planning Director Paul Luker, Staff Planner Alex Barthol, Community Development Specialist Lisa West and City Recorder Rebecca Hume.

III. APPROVAL OF MINUTES OF PREVIOUS MEETING:

1. **Regular Meeting Minutes** - March 12, 2026
Adam Henry moved to bring this item to the floor, seconded by Sal Feraci.

When the question was called the meeting minutes passed as presented, voice vote, 6 in favor, 0 against, 0 abstain (6-0-0).

IV. PUBLIC DISCUSSION:

None.

V. REPORTS OF OFFICERS AND COMMITTEES:

None.

VI. UNFINISHED BUSINESS:

None.

VII. NEW BUSINESS:

1. **Action** - approval recommendation to Board of Commissioners to rezone parcels L0159 00552 and L0159 00551 at the northeast corner of Hwy 64 and Walker Springs Drive from C-2 Regional Commercial to R-3 Suburban Cottage.

Sal Feraci moved to bring this item to the floor, seconded by Adam Henry.

Staff Planner Alex Barthol presented this item.

Discussion ensued.

Josh Burnett, Principal Engineer representing Renaissance Design Studio, engaged in discussion and answered questions for the board.

Resident Joyce Pepin, 3000 block of Woodmeade Lane, asked about age restrictions within the community.

Resident Gene Torrey, 3000 block of Sea Ray Lane, made comments

Adam Henry moved to approve this item, seconded by Sal Feraci.

When the question was called the action passed as presented, roll call vote, 6 in favor, 0 against, 0 abstain (6-0-0).

Yea: Adam Henry, Carl Helton, Cat Wright, Amber Hitchcock, Sal Feraci, Jason Eaton

Nay: None

Abstain: None

2. **Action** - site plan approval for a Dutch Bros. coffee shop at 8872 Hwy 64. Sal Feraci moved to bring this item to the floor, seconded by Amber Hitchcock.

Staff Planner Alex Barthol presented this item.

Harvey Mathney, with Pickering Firm, engaged in discussion and answered questions for the board.

Discussion ensued.

Planning Director Paul Luker made comments.

Jonahthan Penn, owner of Shadrachs Coffee, 8000 block of HWY 64, made comments concerning the access road.

The board raised concerns about a traffic study for the access road.

City Manager Emily Harrell advised the board they could request a traffic study.

The board established the concern of shifting to a dry detention basin.

Sal Feraci moved to approve this item with the following conditions, seconded by Adam Henry:

1. The proposed building wall signage shall be reduced to fit into the allowable thirty (30) square foot allotment.
2. The proposed ground signage is required to be landscaped and irrigated.
3. The proposed detention come back to the board to look into a dry landscaped detention.
4. All underground electric service shall be shown on the grading plan.
5. The correction of the negative slope of flowline from B3-B4 as shown on the grading and drainage plan.

The first 4 conditions are agreed upon. The fifth condition would be brought back with a landscaping plan for a dry detention basin.

When the question was called the action passed as presented, roll call vote, 6 in favor, 0 against, 0 abstain (6-0-0).

Yea: Adam Henry, Car Helton, Cat Wright, Amber Hitchcock, Sal Feraci, Jason Eaton

Nay: None

Abstain: None

VIII. ANNOUNCEMENTS:

Paul Luker made announcements.

IX. ADJOURNMENT:

Meeting was adjourned at 7:03 p.m.

These minutes were approved on May 14, 2026.

Carl Helton
Secretary

ATTEST:

Rebecca Hume
City Recorder

DRAFT

Meeting Date: Thursday, May 14, 2026
Project: Dutch Bros Coffee – Site Plan Application
Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Parcel ID: L0159 00612
Zoning District: C-2: Regional Commercial
Site Area: .75 acres
Applicant: Palmetto Lakeland-US Highway 64, LLC
Representative: Harvey W. Matheny, P.E.

STAFF RECOMMENDATION

City Staff is recommending approval of the Site Plan application with the following conditions:

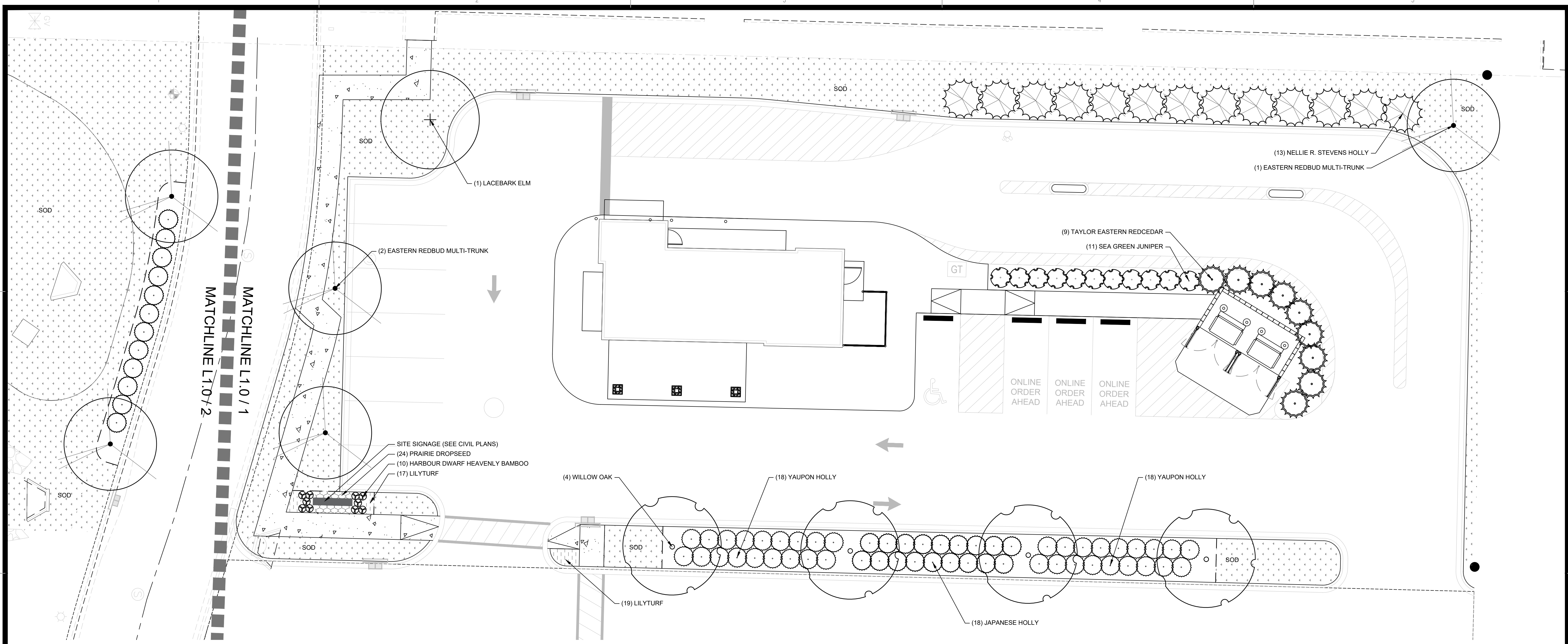
1. Increase plantings along the entire perimeter of the detention area.

BACKGROUND:

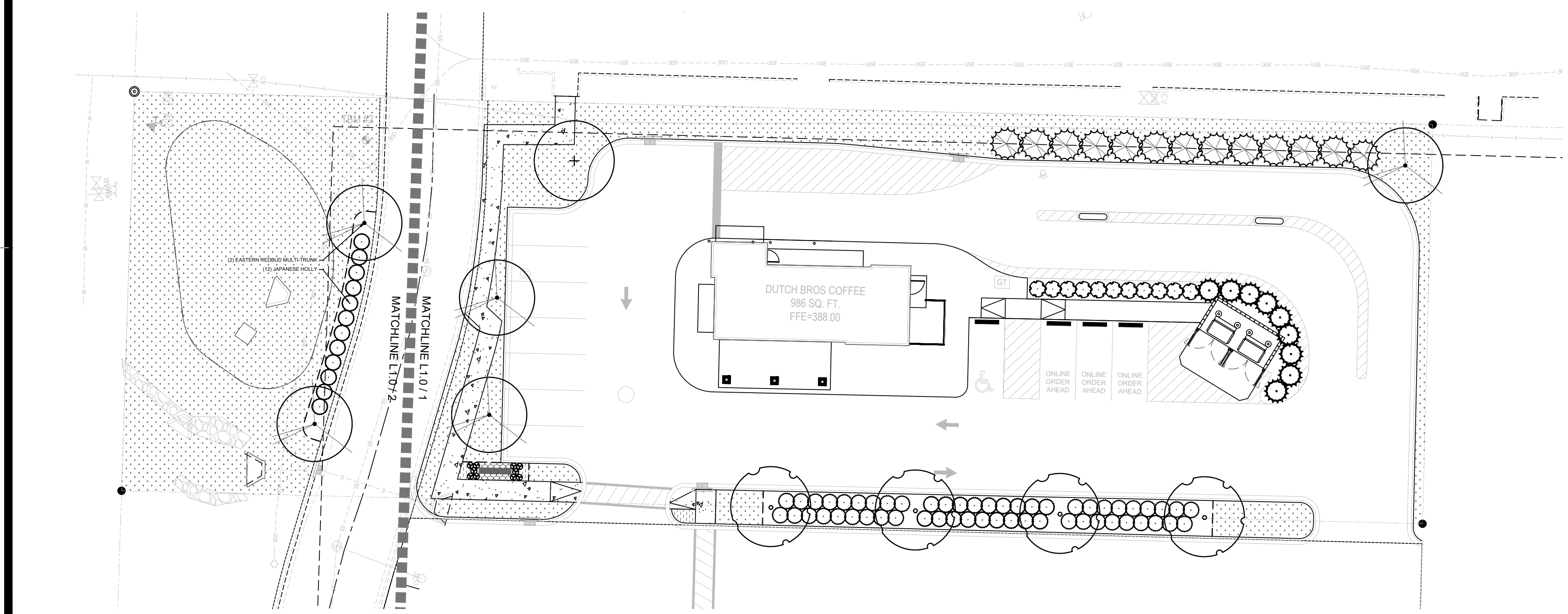
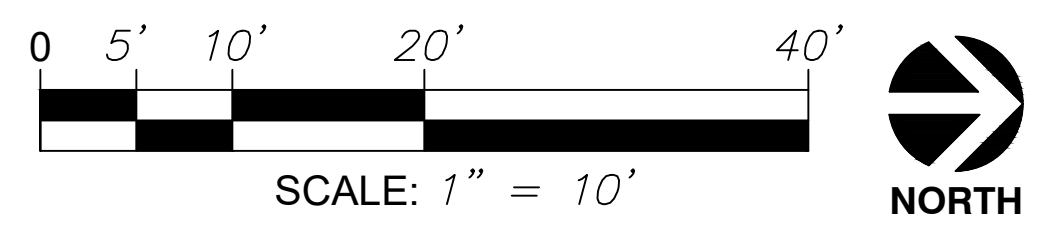
On April 9, 2026, a Site Plan application was approved for Dutch Brothers Coffee. This approval included all site civil details as well as building elevations, signage and site lighting. The applicant was then advised to bring back a revised landscape plan to offset the impact of the proposed detention area on the south side of the property.

DISCUSSION:

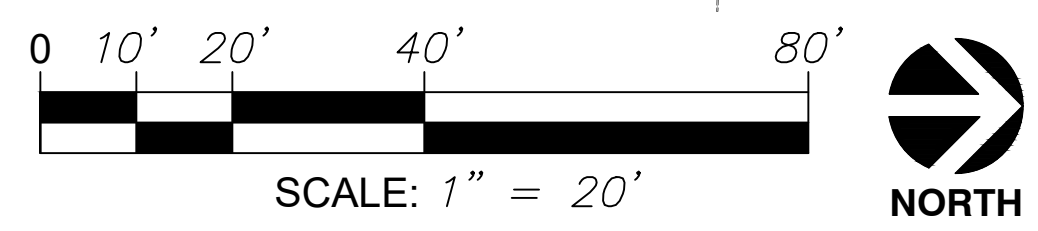
This application is a request for approval by the Design Review Commission of the landscaping for the Dutch Bros Coffee site.



1 LANDSCAPE PLAN
SCALE: 1" = 10'



2 DETENTION PLAN
SCALE: 1" = 20'



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	UNIT	COMMENTS
CANOPY TREES							
	4	Quercus phellos	Willow Oak	3" Cal.	B&B	EA	Well branched, full head
	1	Ulmus parvifolia	Lacebark Elm	3" Cal.	B&B	EA	Well branched, full head
EVERGREEN TREES							
	13	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	6" Ht.	Pot	EA	6' - 8' Ht. min.
	9	Juniperus virginiana 'Taylor'	Taylor Eastern Redcedar	6" Ht.	Pot	EA	6' - 8' Ht. min.
ORNAMENTAL TREES							
	5	Cercis canadensis	Eastern Redbud Multi-trunk	1.5" Cal.	B&B	EA	Well branched, full head
SHRUBS AND GRASSES							
	30	Ilex crenata	Japanese Holly	24" Ht.	Pot	EA	Spreading form
	36	Ilex vomitoria	Yaupon Holly	24" Ht.	Pot	EA	Spreading form
	11	Juniperus chinensis 'Sea Green'	Sea Green Juniper	36" Ht.	Pot	EA	Spreading form
	10	Nandina domestica 'Harbour Dwarf'	Harbour Dwarf Heavenly Bamboo	24" Ht.	Pot	EA	Full plant, free of weeds
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT	COMMENTS	SPACING
GROUND COVERS							
	8,346 sf	Cynodon dactylon	Bermudagrass	sod	Fill Area	Fill Area	
	36	Liriope muscari	Lilyturf	4" pot	Fill Area	Fill Area	12" o.c.
	24	Sporobolus heterolepis	Prairie Dropseed	4" pot	Fill Area	Fill Area	12" o.c.

REVISIONS:

PROJECT # 27456.01
DATE: MARCH 30, 2026
DRAWN BY: DM
DESIGNER: DM
CHECKED BY: SH



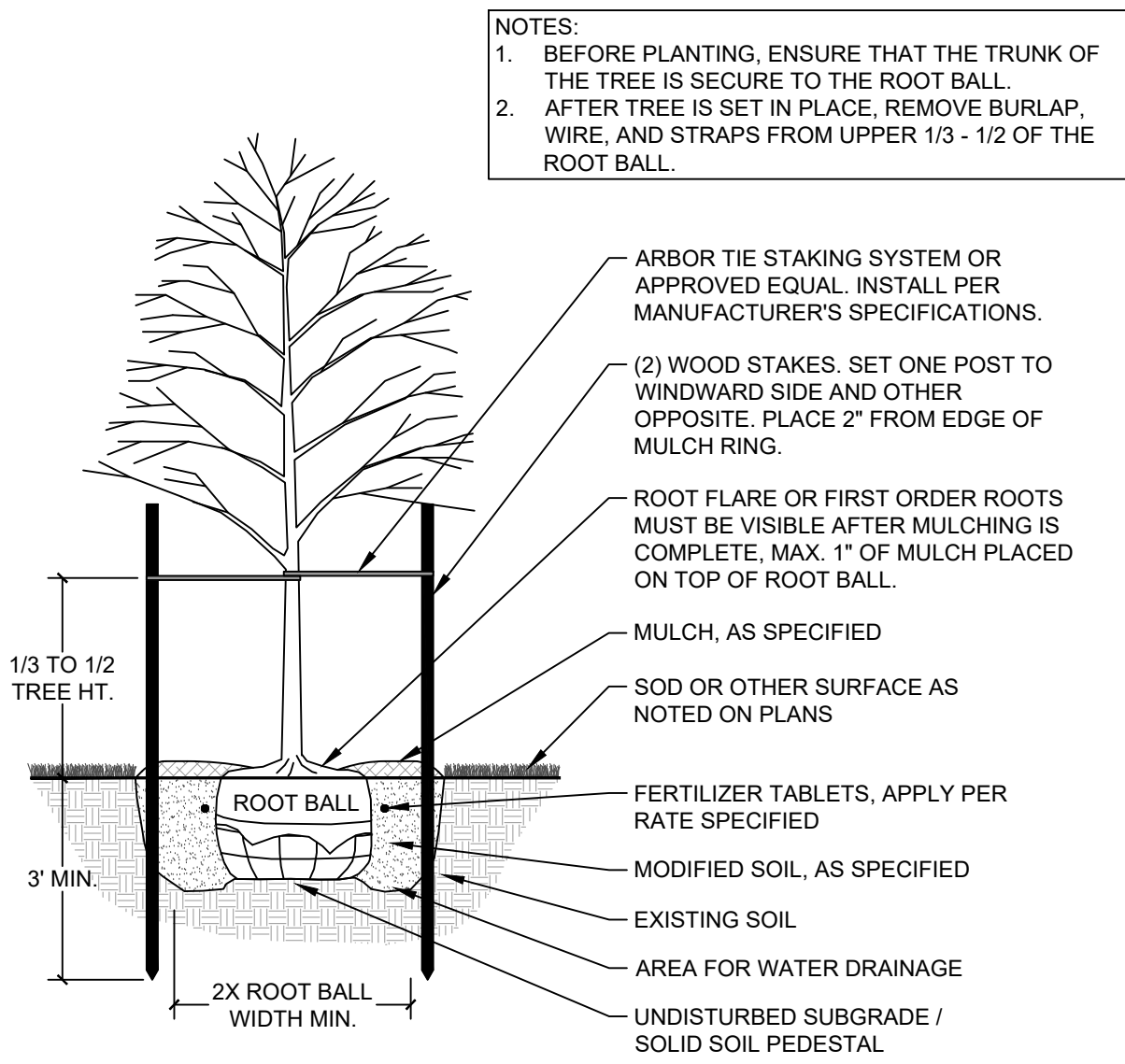
DUTCH BROS COFFEE
8872 HIGHWAY 64
LAKELAND, TN 38002



SEAL:

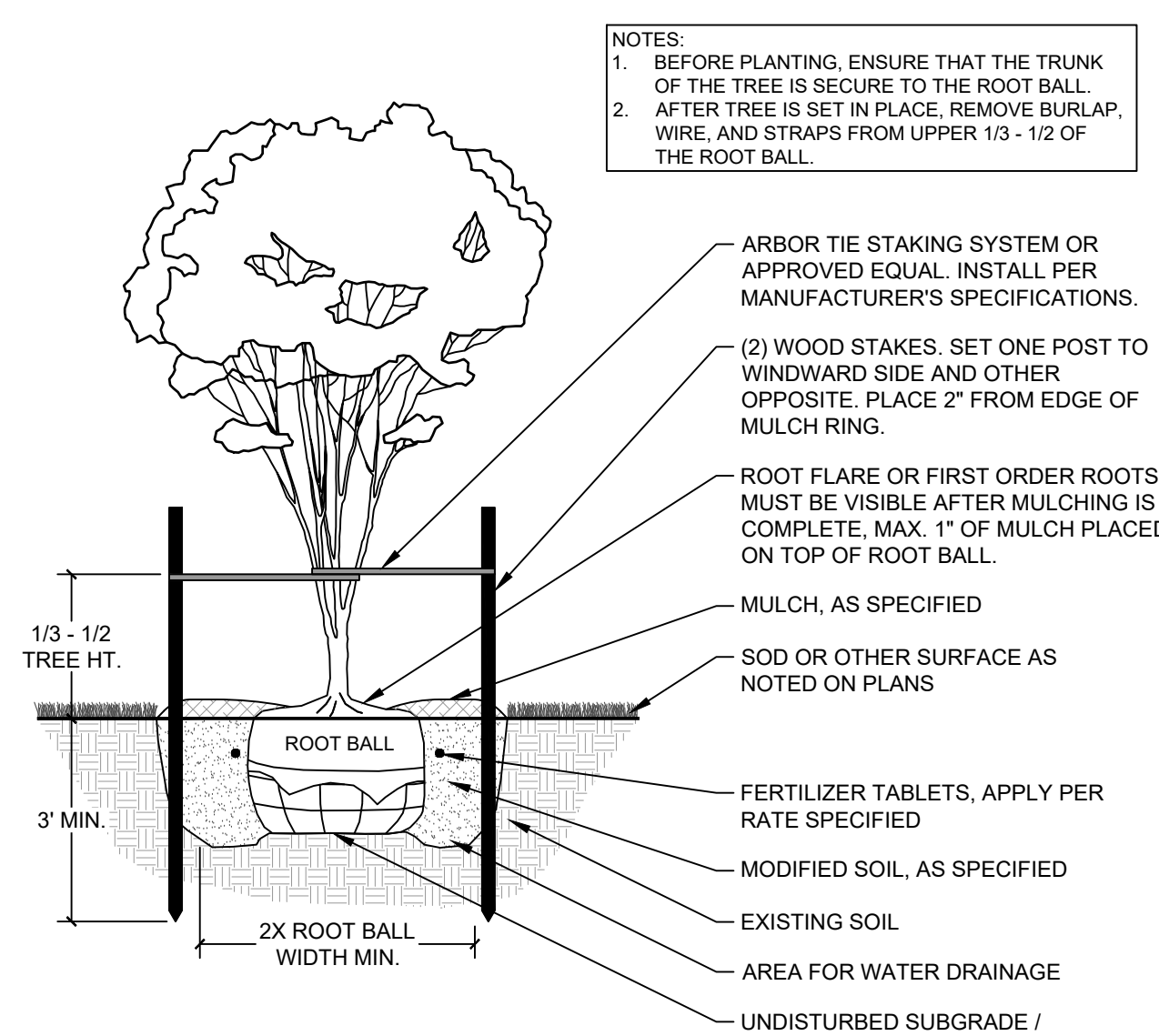
SHEET NUMBER:
L1.0

DESCRIPTION:



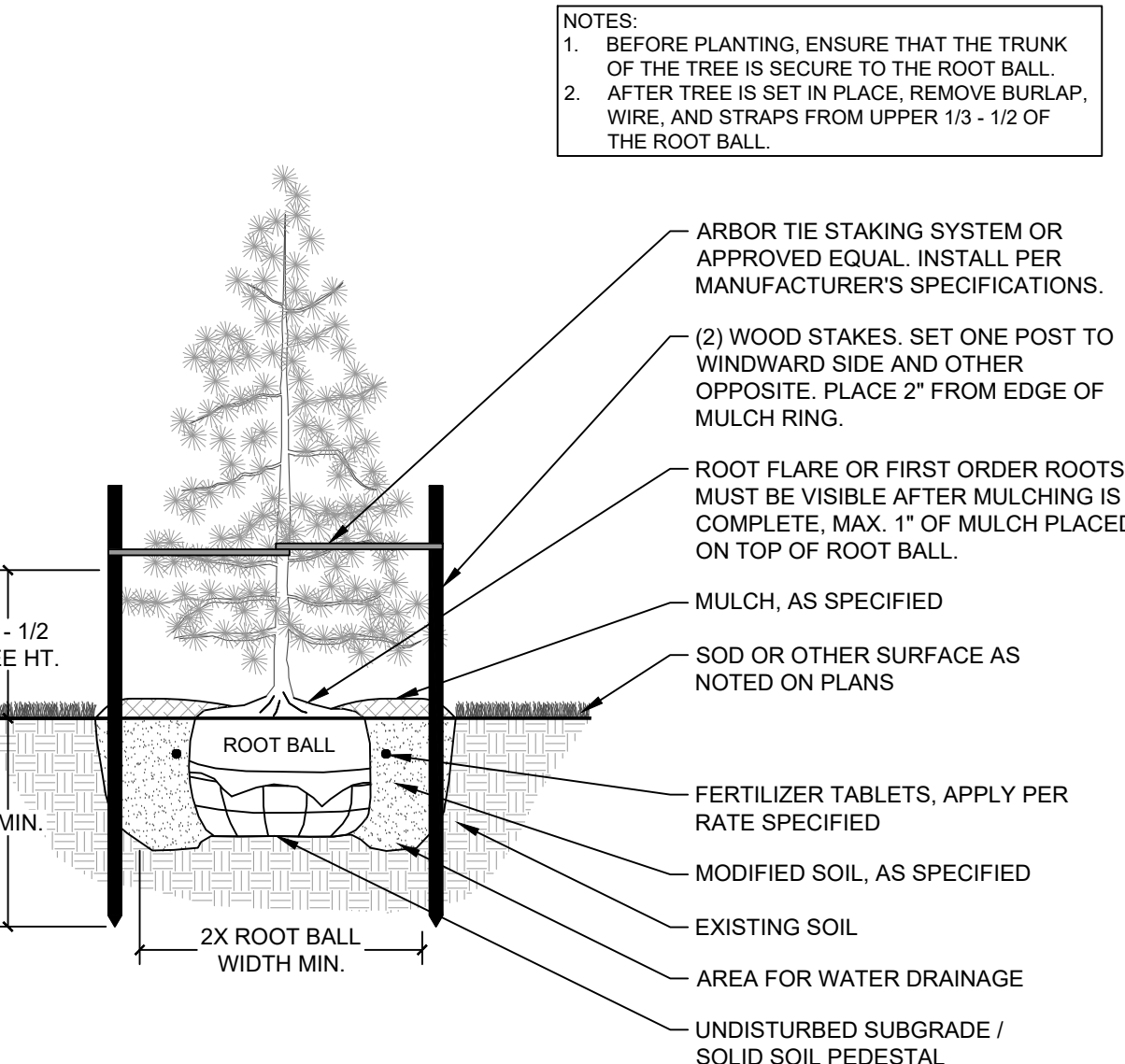
1 TREE PLANTING AND STAKING

NOT TO SCALE



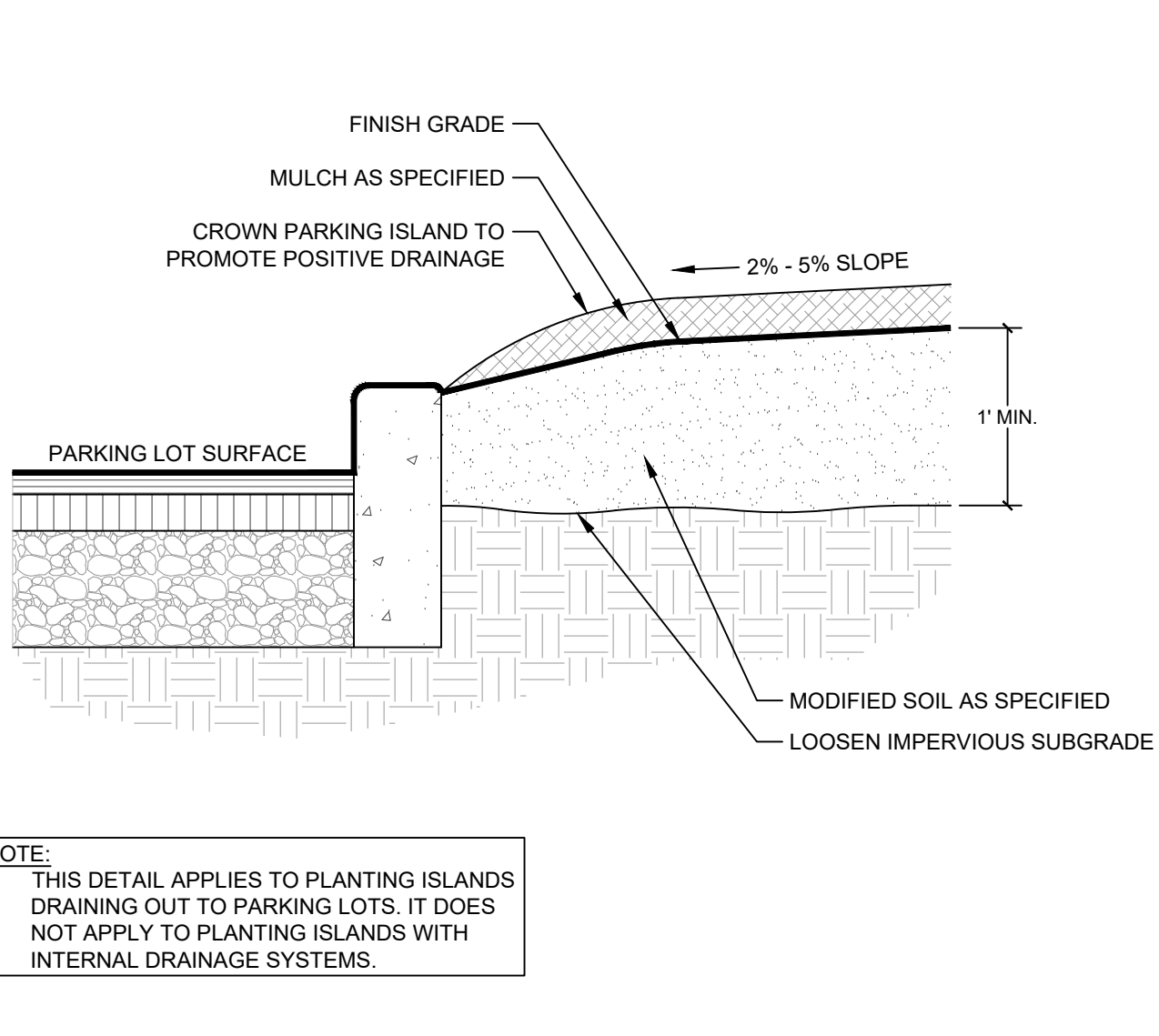
2 TREE PLANTING & STAKING (MULTI-TRUNK)

NOT TO SCALE



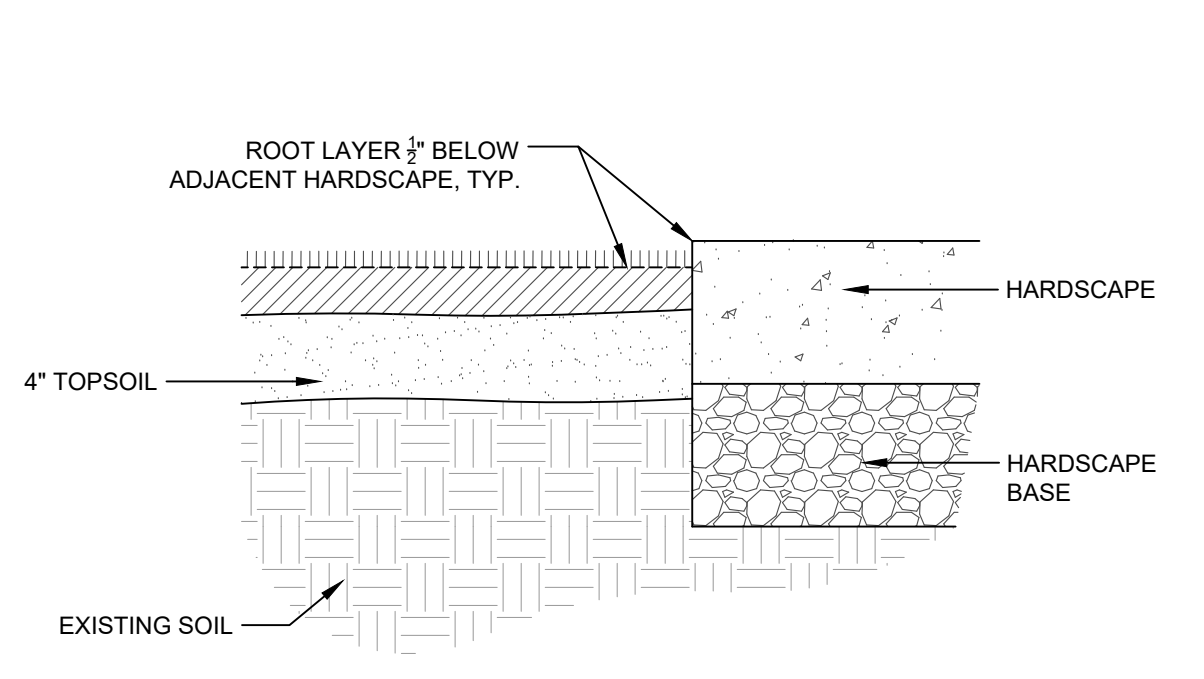
3 TREE PLANTING & STAKING (EVERGREEN)

NOT TO SCALE



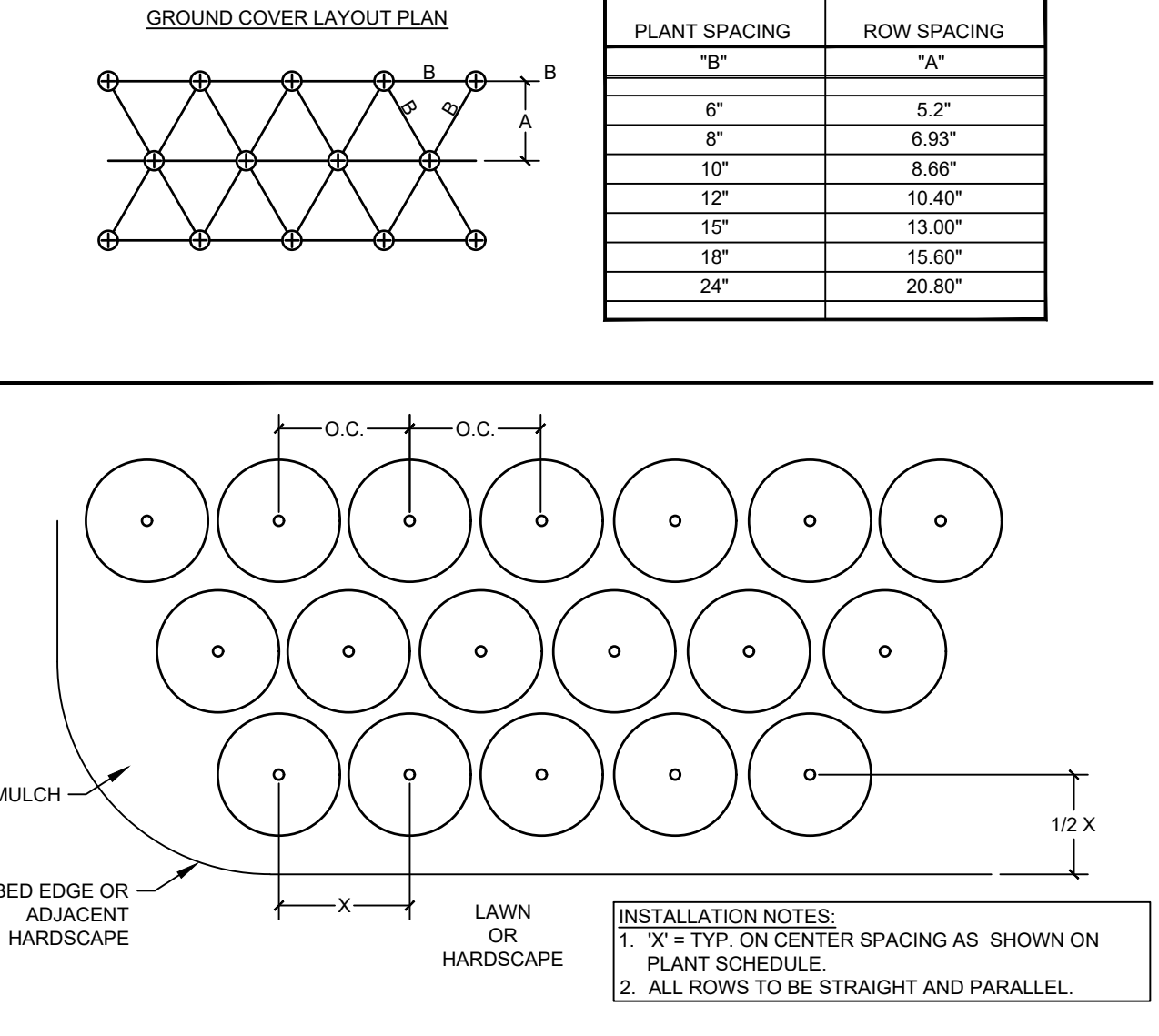
4 PARKING LOT ISLAND DETAIL

NOT TO SCALE



5 SOD INSTALLATION

NOT TO SCALE



6 TYP PLANT MASS & GROUND COVER SPACING

NOT TO SCALE

GENERAL PLANTING NOTES

- CONTRACTOR TO CAREFULLY EXAMINE THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS BEFORE SUBMITTING BID PROPOSAL OR COMMENCING WORK.
- CONTRACTOR'S BASE BID TO INCLUDE ALL MATERIALS, BED PREP, LABOR, PERMITS, EQUIPMENT, TOOLS, INSURANCE, ETC. TO PERFORM THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
- PLANT QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE. CONTRACTOR SHALL VERIFY BEFORE SUBMITTING BID PROPOSAL THAT QUANTITIES SHOWN WILL ADEQUATELY FULFILL THE DESIGN INTENT AND SHALL VERIFY PRIOR TO PLACEMENT THAT QUANTITIES ARE ADEQUATE. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS CAUSED BY THE CONTRACTOR ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S COST, SUBJECT TO OWNER'S APPROVAL. CONTRACTOR TO LOCATE UNDERGROUND UTILITIES WITH FLAGS/MARKINGS PRIOR TO EXCAVATING.
- REQUIREMENTS FOR DEFINITIONS, GRADING TOLERANCES, BALLING AND BURLAPPING, CONTAINER GROWN PLANTS, ETC. SHALL BE IN ACCORDANCE WITH THE "USA STANDARD FOR NURSERY STOCK," ANSI Z60.1, LATEST EDITION, AND ANSI Z133.1, LATEST EDITION, ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. PLANTS SHALL BE MEASURED BEFORE PRUNING WITH BRANCHES IN NORMAL POSITION, AND ANY NECESSARY PRUNING SHALL BE DONE AT TIME OF PLANTING, WHERE PLANT SIZES ARE GIVEN IN A RANGE, THE PLANTS PROVIDED SHALL AVERAGE THE MEDIAN OF THE RANGE OR BETTER.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL PLANTS SHALL BE OF SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, SYMMETRICAL, THICKLY BRANCHED, SO TRAINED OR TREATED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY OF FIRST QUALITY IN FORM, BRANCH, STRUCTURE, BUDS, FRUIT, COMPACTNESS, AND SYMMETRY. ANY TREE HAVING A WEAK, THIN TRUNK, NOT CAPABLE OF SUPPORTING ITSELF WHEN PLANTED IN THE OPEN, WILL NOT BE ACCEPTED. INFERIOR PLANT MATERIAL TO BE REJECTED.
- ALL PLANTS SHALL COMPLY WITH FEDERAL AND STATE LAWS AND REGULATIONS REQUIRING INSPECTION FOR PLANT DISEASES, PEST, AND WEEDS. CERTIFICATES OF INSPECTION SHALL ACCOMPANY THE INVOICE FOR EACH SHIPMENT OF PLANTS AS REQUIRED BY LAW.
- ALL PLANTS SHALL BE TRUE TO NAME AS ORDERED OR SHOWN ON THE PLANTING PLANS AND SHALL BE LABELED INDIVIDUALLY OR IN GROUPS BY SPECIES AND CULTIVAR. SUBSTITUTIONS WILL ONLY BE PERMITTED UPON SUBMISSION OF PROOF THAT A PARTICULAR VARIETY OF PLANT IS NOT OBTAINABLE, AND UPON AUTHORIZATION BY THE OWNER OR OWNER'S REPRESENTATIVE. SUBSTITUTIONS SHALL BE OF THE NEAREST EQUIVALENT OBTAINABLE SIZE, AND OF SIMILAR CHARACTERISTICS, WITH AN EQUITABLE ADJUSTMENT OF CONTRACT SUM.
- ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR 12 MONTHS. THE GUARANTEE PERIOD SHALL BEGIN AT THE TIME OF WRITTEN APPROVAL OF ACCEPTANCE BY THE OWNER OF (A) THE LANDSCAPE AND (B) THE RESPONSIBILITY OF MAINTAINING THE LANDSCAPE IF PLANTS ARE FOUND TO BE DEAD, DYING, OR OF POOR APPEARANCE AT ANY TIME DURING THIS PERIOD, THEY SHALL BE REPLACED AT NO ADDITIONAL COST.
- ALL PLANTS THAT HAVE BEEN FOUND TO BE DEAD, DYING, OR OF POOR APPEARANCE SHALL BE IMMEDIATELY REMOVED AND THE OWNER NOTIFIED. REPLACEMENT OF TREES AND LARGE SHRUBS SHALL BE MADE AT THE BEGINNING OF THE NEXT PLANTING SEASON. REPLACEMENT OF SMALL SHRUBS AND GROUND COVERS SHALL BE MADE WITHIN 30 DAYS FOLLOWING THE INSPECTION OF THAT DETERMINED THE REQUIRED REPLACEMENT. THE OWNER SHALL BE NOTIFIED PRIOR TO ALL REPLACEMENT WORK.
- ANY PLANT THAT DIES, HAS AN UNHEALTHY CONDITION, OR POOR APPEARANCE PRIOR TO OWNER ACCEPTANCE SHALL BE REPLACED. THIS REPLACEMENT SHALL NOT BE CONSIDERED AS A GUARANTEE REPLACEMENT. ALL REPLACEMENTS SHALL BE MADE WITH PLANTS OF THE SAME KIND, AND IN THE SAME MANNER AS SPECIFIED FOR THE ORIGINAL PLANTING, AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREES ARE TO BE STAKED, UNLESS SPECIFICALLY DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. BRACING SHALL UTILIZE A STANDARD FLAT, WOVEN POLYPROPYLENE, 900-LB. BREAK STRENGTH SUCH AS "ARBOR TIE" OR APPROVED EQUAL. STAKE OR GUY NEW OR TRANSPARENT TREE WITH THREE STAKES, 2" X 8' HARDWOOD. ALL STAKING MATERIAL SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE WARRANTY PERIOD.
- CONTRACTOR TO PROVIDE INTERIM MAINTENANCE (WATERING, PRUNING, FERTILIZING, GUYING, MOWING, TRIMMING, ADEQUATE DRAINAGE OF PONDING AREAS, EDGING, WEEDING, MULCHING, APPLICATION OF INSECTICIDES/HERBICIDES, AND GENERAL LANDSCAPE CLEANUP) UNTIL WRITTEN NOTICE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL PERFORM WORK IN COMPLIANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK AND PROVIDE FOR PERMITS REQUIRED BY LOCAL AUTHORITIES.
- SIDEWALKS, ROADS, AND OTHER PAVEMENT ADJACENT TO PLANTING OPERATION SHALL BE KEPT CLEAN AND FREE OF OBSTRUCTIONS.
- INsofar AS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE PLANTING CONTRACTOR SHALL PROTECT THE STOCK NOT PLANTED. PLANTS SHALL BE PROTECTED AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WITH THE ROOT MASS WELL PROTECTED AND KEPT WELL-WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY TO THE SITE.
- UPON INSPECTION OF ALL TREES, THE FOLLOWING CHARACTERISTICS SHALL BE FOUND.
 - CROWN FORM: THE FORM OR SHAPE OF THE CROWN IS TYPICAL FOR A YOUNG SPECIMEN OF THE SPECIES/CULTIVAR. THE CROWN IS NOT SIGNIFICANTLY DAMAGED BY WIND, PRUNING PRACTICES, PESTS OR OTHER FACTORS.
 - LEAVES: THE SIZE, COLOR AND APPEARANCE OF LEAVES ARE TYPICAL FOR THE TIME OF YEAR AND STAGE OF GROWTH OF THE SPECIES/CULTIVAR. LEAVES ARE NOT STUNTED, MISHAPEN, TATTERED, DISCOLORED (CHLOROTIC OR NECROTIC) OR OTHERWISE ATYPICAL.
 - BRANCHES: SHOOT GROWTH (LENGTH AND DIAMETER) THROUGHOUT THE CROWN IS TYPICAL FOR THE AGE/SIZE OF THE SPECIES/CULTIVAR. TREES DO NOT HAVE DEAD, DISEASED, BROKEN, DISTORTED OR OTHER SERIOUS BRANCH INJURIES.
 - TRUNK: THE TREE TRUNK SHOULD BE STRAIGHT, VERTICAL AND FREE OF WOUNDS (EXCEPT PROPERLY MADE PRUNING CUTS), SUNBURST AREAS, CONKS (FUNGAL FRUITING BODIES), WOOD CRACKS, BLEEDING AREAS, SIGNS OF BORING INSECTS, GALLS, CANKERS, LESIONS AND GIRDLING TIES.
 - ROOTS: THE ROOT SYSTEM IS FREE OF INJURY FROM BIOTIC (INSECTS, PATHOGENS, ETC.) AND ABIOTIC AGENTS (HERBICIDE TOXICITY, SALT INJURY, EXCESS IRRIGATION, ETC.). ROOT DISTRIBUTION IS UNIFORM THROUGHOUT THE SOIL MIX OR GROWTH MEDIA AND GROWTH IS TYPICAL FOR THE SPECIES/CULTIVAR. THE TRUNK, ROOT COLLAR (ROOT CROWN), AND LARGE ROOTS SHALL BE FREE OF CIRCLING AND/OR KINKED ROOTS. SOIL REMOVAL NEAR THE ROOT COLLAR MAY BE NECESSARY TO INSPECT FOR CIRCLING AND/OR KINKED ROOTS. THE TREE SHALL BE WELL-ROOTED IN THE SOIL MIX. WHEN THE CONTAINER IS REMOVED, THE ROOT BALL SHALL REMAIN INTACT. WHEN THE TRUNK IS CAREFULLY LIFTED, BOTH THE TRUNK AND ROOT SYSTEM SHALL MOVE AS ONE. THE UPPER-MOST ROOTS OR ROOT COLLAR SHALL BE WITHIN 1" (ONE INCH) ABOVE OR BELOW THE SOIL SURFACE.
 - CENTRAL LEADER: TREES SHALL HAVE A SINGLE, RELATIVELY STRAIGHT CENTRAL LEADER AND TAPERED TRUNK, FREE OF CODDOMINANT STEMS AND VICARIOUS, UPRIGHT BRANCHES THAT COMPETE WITH THE CENTRAL LEADER.
 - MAIN BRANCHES (SCAFFOLDS): BRANCHES SHOULD BE DISTRIBUTED RADIALLY AROUND AND VERTICALLY ALONG THE TRUNK, FORMING A GENERALLY SYMMETRICAL CROWN TYPICAL FOR THE SPECIES.

SEEDING AND SODDING NOTES

- FOR ALL TURF LAWN AREAS, TOPSOIL SHALL BE USED TO REACH FINISH GRADE. CULTIVATE EXISTING SOIL TO A DEPTH OF 4" BELOW TOPSOIL LAYER. HAND RAKE TO PROVIDE EVEN CONTOURS. GENERAL CONTRACTOR TO PROVIDE GRADES WITHIN TWO-TENTHS (20+) OF A FOOT OF PROPOSED FINISH GRADES.
- NOTIFY THE OWNER AT LEAST 48 HOURS IN ADVANCE OF THE TIME CONTRACTOR INTENDS TO BEGIN SODDING AND SHALL NOT PROCEED WITH SUCH WORK UNTIL PERMISSION TO DO SO HAS BEEN GRANTED BY THE OWNER. BEFORE STARTING THE GRASSING OPERATION ON ANY AREA, FINAL DRESSING SHALL HAVE BEEN COMPLETED.
- INsofar AS IS PRACTICABLE, SOD SHALL BE LAID THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE PLANTING CONTRACTOR SHALL PROTECT THE SOD NOT LAID BY PLACING IT IN A SHADDED AREA. SOD THAT CANNOT BE LAID IMMEDIATELY ON DELIVERY SHALL BE KEPT WELL-WATERED AND SHALL NOT REMAIN UNPLANTED FOR LONGER THAN 48 HOURS AFTER DELIVERY TO THE SITE. ANY SOD LEFT UNINSTALLED FOR A LONGER PERIOD IS SUBJECT TO REJECTION BY THE OWNER.
- PRIOR TO PLACING SOD, FERTILIZER AND LIMES SHALL BE APPLIED UNIFORMLY TO PREPARED SURFACE. AFTER PLACING THE SOD, IT SHALL BE THOROUGHLY WETTED AND ROLLED WITH APPROVED ROLLER/HAND TAMPER. THREE WEEKS AFTER INSTALLATION, AMMONIUM NITRATE SHALL BE APPLIED TO NEWLY SODDED AREA AND THEN WATERED.
- ALL AREAS TO BE SEEDDED WITH GRASS SEED TO RECEIVE A MINIMUM OF 4" OF TOPSOIL. FINISH GRADE TOLERANCE OF 1". CONTRACTOR TO VERIFY THAT FINISH GRADE IS FREE OF STONES OR CLODS LARGER THAN 1-1/2" DIAMETER AND FREE OF TRASH. NOTIFY GENERAL CONTRACTOR IF THESE CONDITIONS ARE NOT PRESENT.
- SEED MIX SHALL BE COMMON BERMUDA AND SHALL BE SOWN BETWEEN MAY 1 AND JULY 31. SOW AT A RATE OF 50 LBS. P.L.S. (PURE LIVE SEED) PER ACRE. ALL SEED MIXTURES SHALL BE APPLIED BY HYDRO-SEEDING UNLESS OTHERWISE SPECIFIED. ALL DISTURBED AREAS NOT OTHERWISE LANDSCAPED, PAVED OR SODDED SHALL BE SEEDDED.
- IF SEEDDED AREAS DO NOT SHOW A UNIFORM OR HEALTHY STAND OF GRASS, WITH A 90 PERCENT OR GREATER COVERAGE AFTER 28 CALENDAR DAYS, RESEED AND/OR RE-FERTILIZE THOSE AREAS AS DIRECTED BY THE OWNER WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- IN ADDITION TO ANY REQUIREMENTS DESCRIBED ABOVE, AT TIME OF FINAL ACCEPTANCE, SEEDDED AND SODDED AREAS SHALL SHOW A UNIFORM OR HEALTHY STAND OF GRASS, WITH A MINIMUM OF 90 PERCENT COVERAGE. AREAS NOT MEETING THIS REQUIREMENT SHALL BE RE-SEEDDED OR RE-SODDED AND RE-FERTILIZED AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE WITHOUT ANY ADDITIONAL COST TO THE OWNER.

REVISIONS:

PROJECT # 27456.01

DATE: MARCH 30, 2026

DRAWN BY: DM

DESIGNER: DM

CHECKED BY: SH

ot
DESIGN STUDIO
1350 Concourse Ave, Suite 447
Memphis, TN 38104
901.646.5070
www.ot-designstudio.com

DUTCH BROS
COFFEE
8872 HIGHWAY 64
LAKELAND, TN 38002



SEAL:

L1.1

SHEET NUMBER:

DESCRIPTION:

Meeting Date: Thursday, May 14, 2026
Project: Brunswick Commercial Subdivision – Resubdivision of Lot 1
Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Parcel ID: L0159 00612, L0159 00611
Zoning District: C-2: Regional Commercial
Site Area: 4.86 acres
Applicant: Palmetto Lakeland-US Highway 64, LLC
Representative: Harvey W. Matheny, P.E.

STAFF RECOMMENDATION

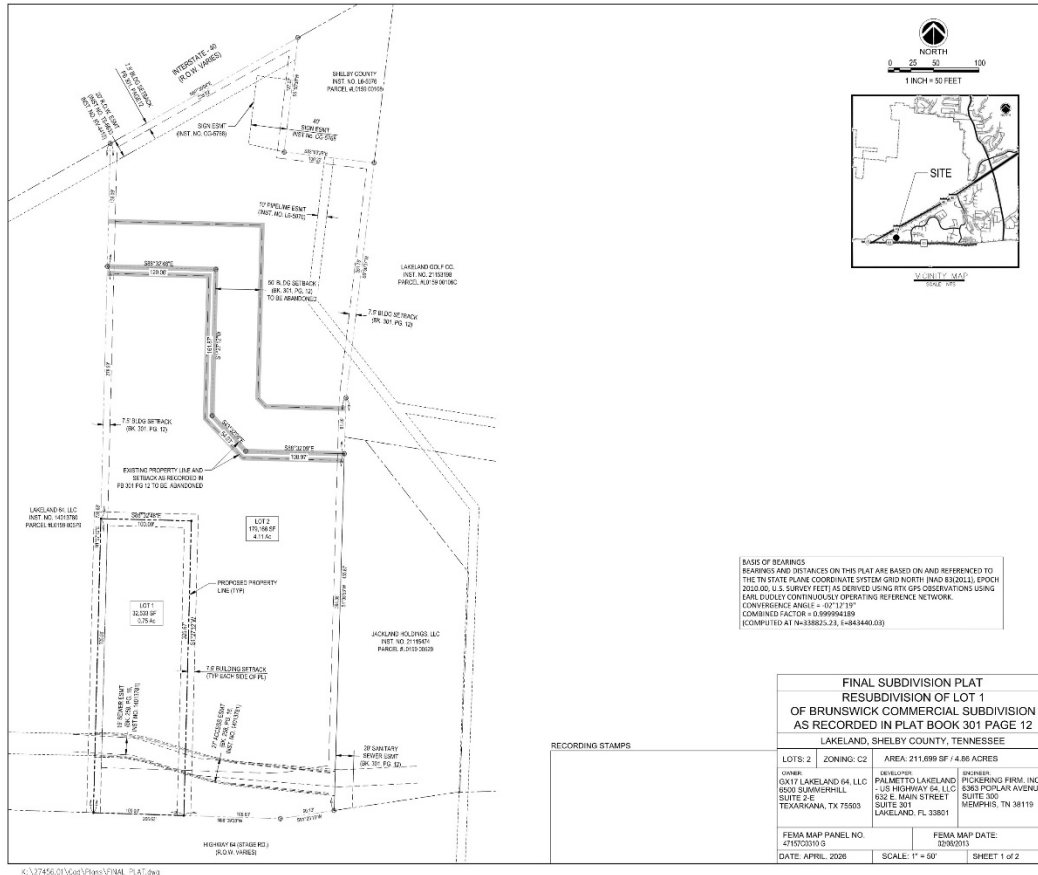
City Staff is recommending approval of the resubdivision Final Plat application as submitted.

BACKGROUND:

On March 12, 2026, an approved planned development for a future Glide Express car wash was dissolved on the subject property. This dissolution returned the property to its original C-2: Regional Commercial zoning distinction. On April 9, 2026, a Site Plan application was approved for Dutch Brothers Coffee. This approval included all site civil details as well as building elevations, signage and site lighting. The applicant was then advised to bring back a revised landscape plan to offset the impact of the proposed detention area on the south side of the property.

DISCUSSION:

This application is a request for approval by the Municipal Planning Commission of a final plat to redraw the property boundaries initially established with the Glide Express Planned Development.



ANALYSIS:

Upon review by City Staff, the application is in line with the Land Development Regulations. The Final Plat establishes two commercial lots, one .75 acres, the other 4.11 acres, and abandons the previously established lot lines. Staff is recommending approval of the application as submitted.

EXAMPLE MOTIONS

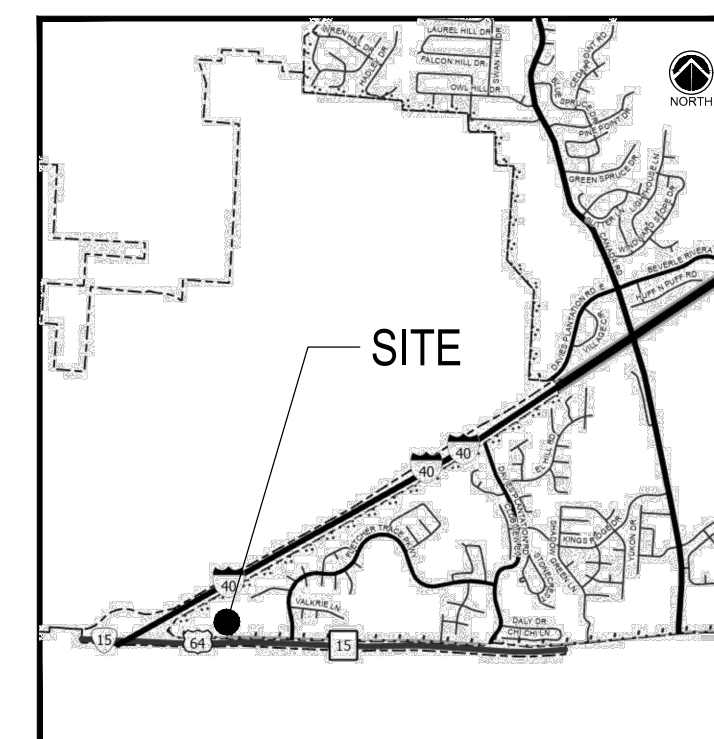
1. Motion to approve the Brunswick Commercial Subdivision – Resubdivision of Lot 1 Application without conditions.
2. Motion to approve the Brunswick Commercial Subdivision – Resubdivision of Lot 1 Application subject to the following conditions:
 - a. Conditions as determined by the Planning Commission
3. Motion to deny the Brunswick Commercial Subdivision – Resubdivision of Lot 1 Application:
 - a. Reason for denial



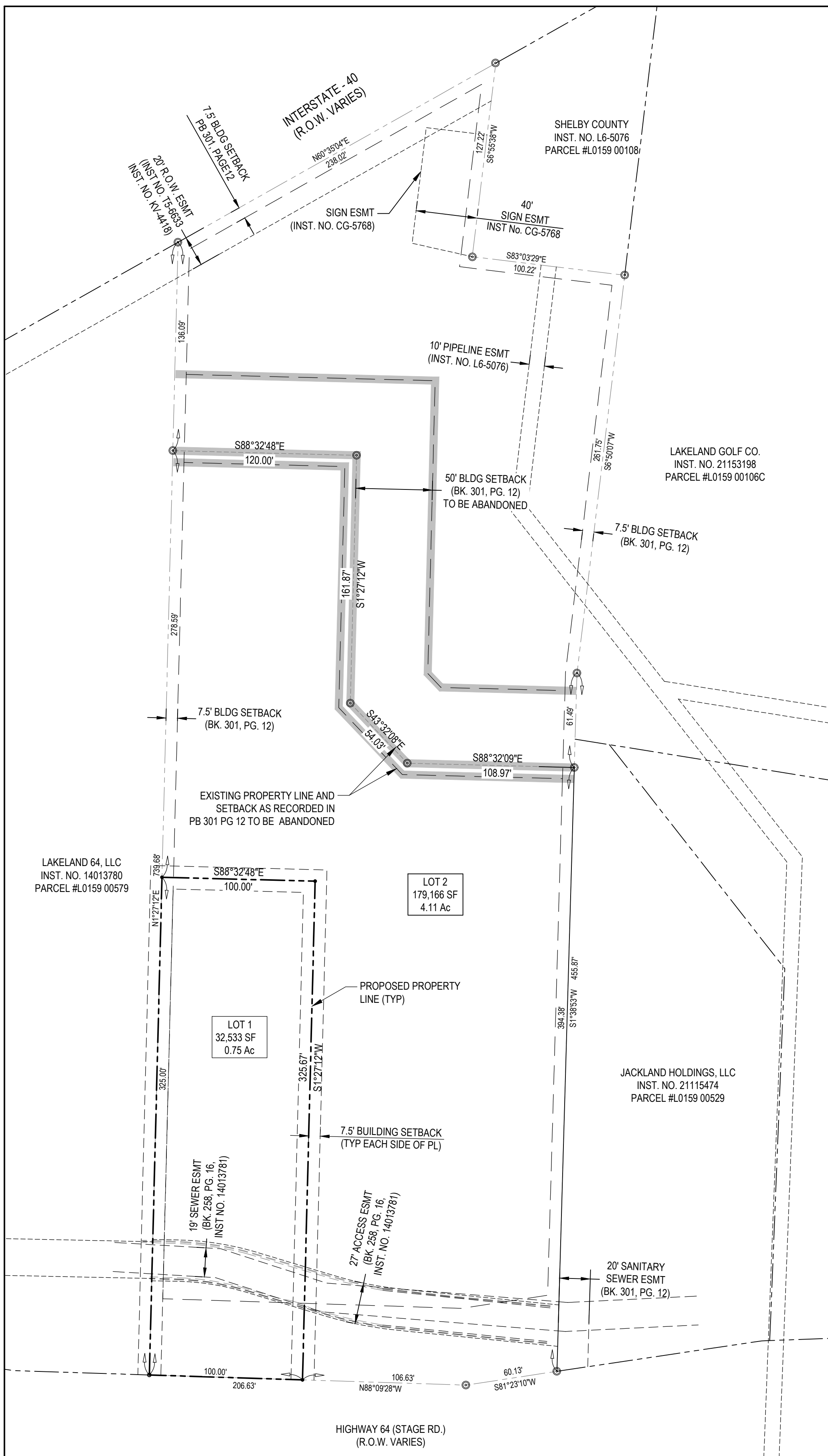
NORTH

0 25 50 100

1 INCH = 50 FEET



VICINITY MAP
SCALE: NTS



BASIS OF BEARINGS
 BEARINGS AND DISTANCES ON THIS PLAT ARE BASED ON AND REFERENCED TO THE TN STATE PLANE COORDINATE SYSTEM GRID NORTH [NAD 83(2011), EPOCH 2010.00, U.S. SURVEY FEET] AS DERIVED USING RTK GPS OBSERVATIONS USING EARL DUDLEY CONTINUOUSLY OPERATING REFERENCE NETWORK.
 CONVERGENCE ANGLE = -02°12'19"
 COMBINED FACTOR = 0.999994189
 (COMPUTED AT N=338825.23, E=843440.03)

RECORDING STAMPS



FINAL SUBDIVISION PLAT		
RESUBDIVISION OF LOT 1		
OF BRUNSWICK COMMERCIAL SUBDIVISION		
AS RECORDED IN PLAT BOOK 301 PAGE 12		
LAKELAND, SHELBY COUNTY, TENNESSEE		
LOTS: 2	ZONING: C2	AREA: 211,699 SF / 4.86 ACRES
OWNER: GX17 LAKELAND 64, LLC 6500 SUMMERHILL SUITE 2-E TEXARKANA, TX 75503	DEVELOPER: PALMETTO LAKELAND - US HIGHWAY 64, LLC 632 E. MAIN STREET SUITE 301 LAKELAND, FL 33801	ENGINEER: PICKERING FIRM, INC. 6363 POPLAR AVENUE SUITE 300 MEMPHIS, TN 38119
FEMA MAP PANEL NO. 47157C0310 G		FEMA MAP DATE: 02/06/2013
DATE: APRIL, 2026	SCALE: 1" = 50'	SHEET 1 of 2

CERTIFICATE OF ENGINEER

I _____, a Professional Engineer, do hereby certify that the design of public and private improvements provided for in the Preliminary Plat / Construction Plans / Final Plat (whichever is applicable) are in accordance with acceptable engineering practices, the Tennessee Department of Environment and Conservation, City of Lakeland Manual for Public Works and Materials Specifications, and all City of Lakeland ordinances, including Subdivisions.

In witness whereof, I the said _____, a Professional Engineer, hereunto set out hand and affix my seal this _____ day of _____, 20__.

Tennessee Registration No. _____

Professional Engineer

CERTIFICATE OF SURVEYOR

State of Tennessee
County of Shelby

I, _____ hereby certify that this plat was prepared from notes taken during an actual survey made by me during the month of _____, 20__, and that this Plat or Site Plan correctly represents said survey. All bearings are referenced to the 1983 Tennessee State Plane Coordinate System; all new property corners are marked in accordance with Lakeland Subdivision Standards; the precision of the unadjusted survey is 1:10,000 or greater and all special flood hazard areas are properly located as per the latest Flood Insurance Rate Map. All dimensions are expressed in feet and decimals. All bearings, distances, and field information are true and correct to the best of my knowledge.

In witness whereof, I the said _____, a Land Surveyor, hereunto set out hand and affix my seal this ___ day of _____, 20__.

CERTIFICATE OF MUNICIPAL PLANNING COMMISSION APPROVAL - SUBDIVISION

I, _____ do hereby certify that the City of Lakeland Municipal Planning Commission has approved this Preliminary / Final Plat (whichever is applicable). The signing of this certificate shall in no way be deemed to constitute or effect an acceptance of the dedication of any street, improvement, or other ground shown upon the plat.

Date: _____

MPC Secretary

CERTIFICATE OF CITY ENGINEER

The Preliminary / Final Plat / Minor Site Plan Review / Site Plan Review (whichever is applicable) is reviewed and deemed compliant with the Land Development Regulations, subject to any waivers, modifications, or variances thereof granted by the City of Lakeland.

Date: _____

City Engineer

CERTIFICATE OF OWNER(S) AND DEDICATION

The undersigned, _____, _____, (etc.) hereby certify that they are the owners of the foregoing property and that the plat is with the free consent and in accordance with the desires of the above named owners, proprietors, do hereby dedicate to the City of Lakeland all Public Improvements, Easements, or lands herein specifically identified for dedication, for the purposes of operation, construction and maintenance of these improvements, as needed for the proper development and maintenance of said Subdivision.

Date: _____

Signature of Owner(s)

NOTARY'S CERTIFICATION

State of _____

County of _____

Before me the undersigned, a notary public in and for said state and county, aforesaid, duly commissioned and qualified, personally appeared _____,

with whom I am personally acquainted, and who upon his (her) oath acknowledged himself (herself) to be _____ of _____, owner of the property, the within named bargainer, and that he (she) executed the foregoing instrument for the purpose therein contained. In witness whereof, I have hereunto set my hand and affixed my notarial seal this ___ day of _____, 20__.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES _____

CERTIFICATE OF MORTGAGEE AND DEDICATION

We, the Mortgagee, _____, do hereby freely consent to the Subdivision of this property in accordance with the Final Plat; dedicate the Public Improvements, Easements, or lands herein specifically identified for dedication, to the appropriate agencies as outlined in this Plat and approved by the Municipal Planning Commission of Lakeland, Tennessee for the purposes of operation, construction and maintenance of these improvements, as needed for the proper development and maintenance of said Subdivision.

Date: _____

Signature of Authorized Agent of Mortgagee

NOTARY'S CERTIFICATION

State of _____

County of _____

Before me the undersigned, a notary public in and for said state and county, aforesaid, duly commissioned and qualified, personally appeared _____,

with whom I am personally acquainted, and who upon his (her) oath acknowledged himself (herself) to be _____ of _____, owner of the property, the within named bargainer, and that he (she) executed the foregoing instrument for the purpose therein contained. In witness whereof, I have hereunto set my hand and affixed my notarial seal this ___ day of _____, 20__.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES _____

RECORDING STAMPS



FINAL SUBDIVISION PLAT		
RESUBDIVISION OF LOT 1		
OF BRUNSWICK COMMERCIAL SUBDIVISION		
AS RECORDED IN PLAT BOOK 301 PAGE 12		
LAKELAND, SHELBY COUNTY, TENNESSEE		
LOTS: 2	ZONING: C2	AREA: 211,699 SF / 4.86 ACRES
OWNER: GX17 LAKELAND 64, LLC 6500 SUMMERHILL SUITE 2-E TEXARKANA, TX 75503	DEVELOPER: PALMETTO LAKELAND - US HIGHWAY 64, LLC 632 E. MAIN STREET SUITE 301 LAKELAND, FL 33801	ENGINEER: PICKERING FIRM. INC. 6363 POPLAR AVENUE SUITE 300 MEMPHIS, TN 38119
FEMA MAP PANEL NO. 47157C0310 G		FEMA MAP DATE: 02/06/2013
DATE: APRIL, 2026	SCALE: NONE	SHEET 2 of 2

Meeting Date: Thursday, May 14, 2026

Project: The Willows at the Lake – COS C and H Site Plan

Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Location: 0 W Lake Geneva Street

Zoning District: C2: Regional Commercial (Planned Development Overlay)

Applicant: Chet Winstead, A2H, Inc

Representative: Chet Winstead, A2H, Inc

STAFF RECOMMENDATION

City Staff recommends approval of the Site Plan Application for The Willows at the Lake COS C and H site plan as submitted.

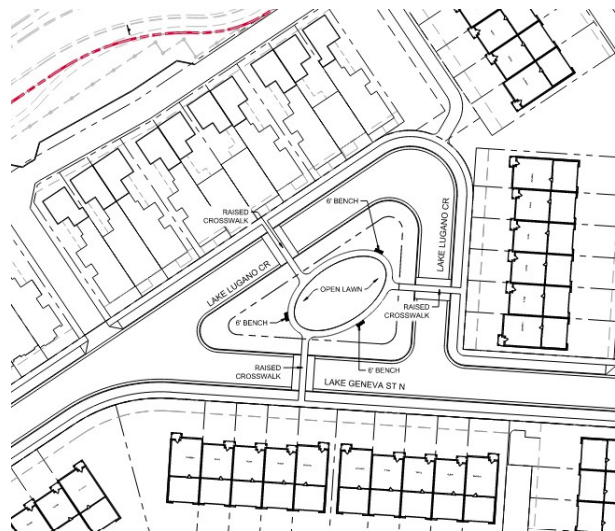
BACKGROUND:

The subject property is located at the southeast corner of Canda Road and I-40. The most recent amendment to this Planned Development was approved by the Municipal Planning Commission on December 11, 2025, to modify the section of the development relating to the town home section of the development known as “The Willows at the Lake”. The changes approved are as follows:

1. Page 8 — Modify the street tree spacing from 40 feet to 45 feet.
2. Page 8 — Add the section of information under street lighting to document the change in 2022 to remove street lighting requirements in the residential areas.
3. Page 17 — Change the use of COS C from passive uses, landscape improvements only to developed COS for community amenities.
4. Page 24 — Change the street tree size from three-inch caliper to two-inch caliper.
5. Page 34 — Remove street lighting shown in residential areas as per the 2022 modification.

ANALYSIS:

The specific request in this Site Plan application is for the elevations of pavilions, pickleball courts, mail kiosk pavilion, and a dog park area with associated fencing and landscaping. Staff have reviewed the plans and agree that the proposed amenities complement the development and are recommending approval of the application as submitted.



EXAMPLE MOTIONS

1. Motion to approve the Willows at the Lake Plan Application subject to the following conditions:
 - a. Conditions as determined by the Planning Commission
2. Motion to approve the Willows at the Lake Application without conditions.
3. Motion to deny the Willows at the Lake Site Plan Application:
 - a. Reason for denial

Meeting Date: Thursday, May 14, 2026
Project: Lakeland Meadows – Preliminary Plat – Phase 2
Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Location: 0 Old Brownsville Rd
Zoning District: AG: Agriculture (Planned Development Overlay)
Site Area: 10.491 acres
Applicant: Valley Brook Development, LLC
Representative: David Bray, The Bray Firm

STAFF RECOMMENDATION

City Staff recommend approval of the Preliminary Plat Application for Lakeland Meadows Planned Development as submitted:

BACKGROUND:

The subject property is located on the south side of Highway 70 just west of Adagio Lane and extends north to connect to phase one of the Lakeland Meadows Planned Development. The Preliminary Plat for this section was previously approved in May of 2025.

ANALYSIS:

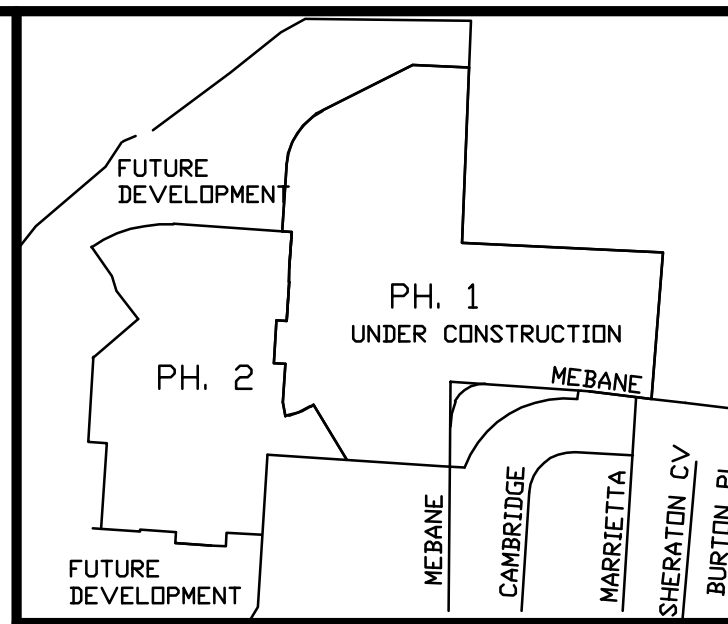
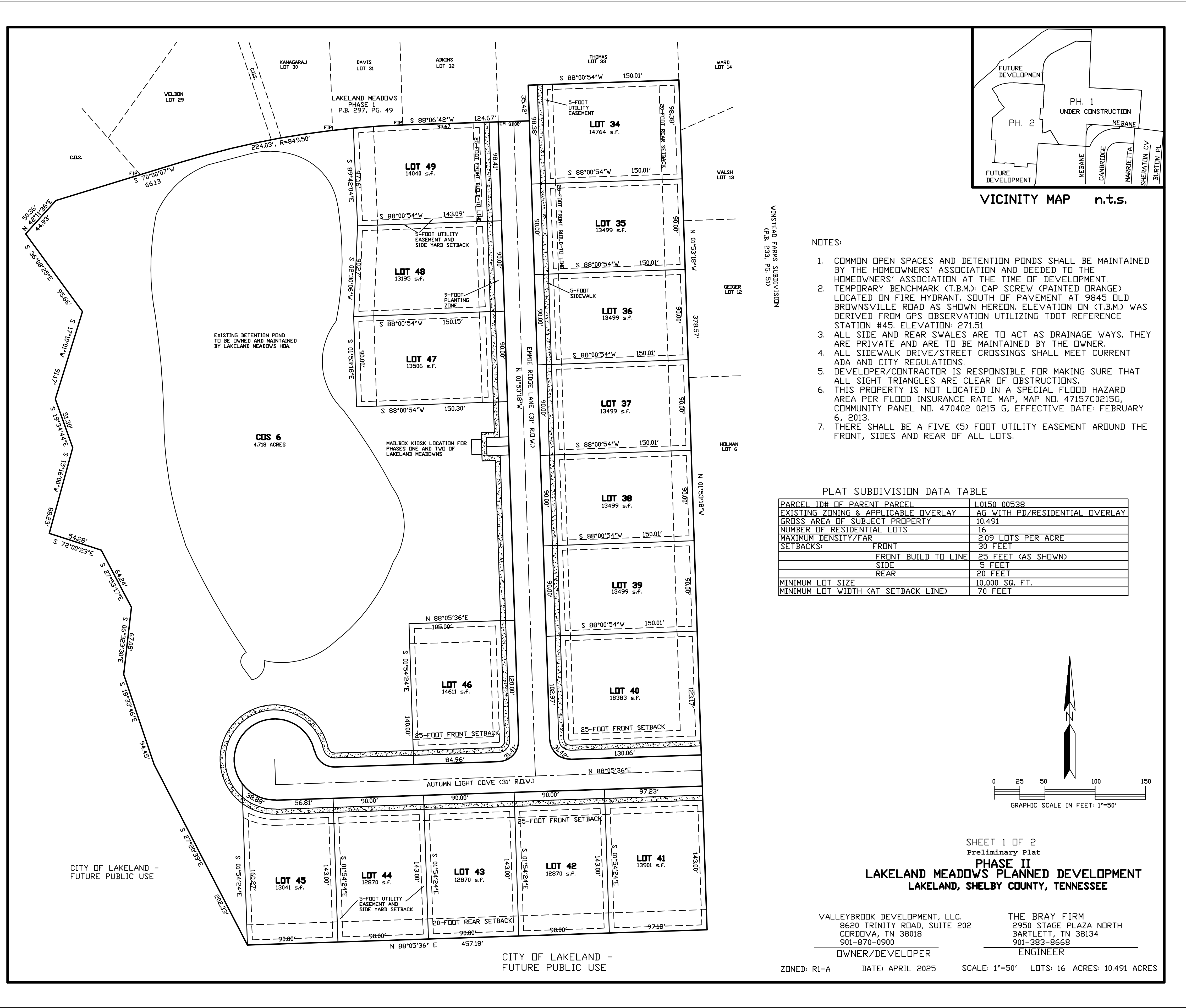
The specific request in this Preliminary Development Plan is to create twelve (16) residential lots off of Emmie Ridge Lane terminated with a cul-de-sac and a connection into the Winstead Farms PD on Autumn Light Drive. This PDP application will complete the residential development for Lakeland Meadows south of Old Brownsville Road. Upon review by City Staff, the application is in basic compliance with the City of Lakeland Land Development Regulations. All lots meet the minimum size requirements, and all have the appropriate setbacks.

Cluster Mailbox

USPS cluster mailboxes for phases one and two are proposed in common open space 6. The boxes are placed behind the curb with two (2) parking spaces provided.

EXAMPLE MOTIONS

1. Motion to approve the Lakeland Meadows Preliminary Plat Application subject to the following conditions:
 - a. Conditions as determined by the Planning Commission
2. Motion to approve the Lakeland Meadows Preliminary Plat Application without conditions.
3. Motion to deny the Lakeland Meadows Preliminary Plat Application:
 - a. Reason for denial

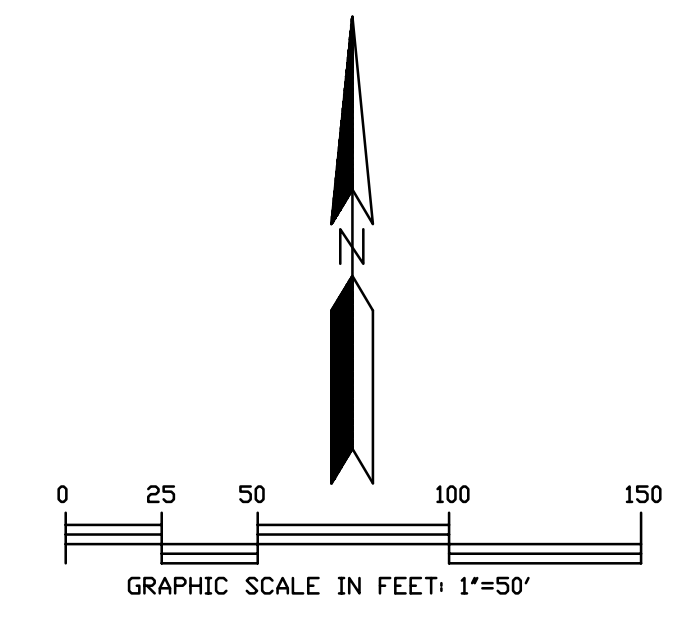


VICINITY MAP n.t.s.

- NOTES:
- COMMON OPEN SPACES AND DETENTION PONDS SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION AND DEEDED TO THE HOMEOWNERS' ASSOCIATION AT THE TIME OF DEVELOPMENT.
 - TEMPORARY BENCHMARK (T.B.M.): CAP SCREW (PAINTED ORANGE) LOCATED ON FIRE HYDRANT SOUTH OF PAVEMENT AT 9845 OLD BROWNSVILLE ROAD AS SHOWN HEREON. ELEVATION ON (T.B.M.) WAS DERIVED FROM GPS OBSERVATION UTILIZING TDDT REFERENCE STATION #45. ELEVATION: 271.51
 - ALL SIDE AND REAR SWALES ARE TO ACT AS DRAINAGE WAYS. THEY ARE PRIVATE AND ARE TO BE MAINTAINED BY THE OWNER.
 - ALL SIDEWALK DRIVE/STREET CROSSINGS SHALL MEET CURRENT ADA AND CITY REGULATIONS.
 - DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SIGHT TRIANGLES ARE CLEAR OF OBSTRUCTIONS.
 - THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP, MAP NO. 47157C0215G, COMMUNITY PANEL NO. 470402 0215 G, EFFECTIVE DATE: FEBRUARY 6, 2013.
 - THERE SHALL BE A FIVE (5) FOOT UTILITY EASEMENT AROUND THE FRONT, SIDES AND REAR OF ALL LOTS.

PLAT SUBDIVISION DATA TABLE

PARCEL ID# OF PARENT PARCEL	L0150 00538
EXISTING ZONING & APPLICABLE OVERLAY	AG WITH PD/RESIDENTIAL OVERLAY
GROSS AREA OF SUBJECT PROPERTY	10.491
NUMBER OF RESIDENTIAL LOTS	16
MAXIMUM DENSITY/FAR	2.09 LOTS PER ACRE
SETBACKS:	
FRONT	30 FEET
FRONT BUILD TO LINE	25 FEET (AS SHOWN)
SIDE	5 FEET
REAR	20 FEET
MINIMUM LOT SIZE	10,000 SQ. FT.
MINIMUM LOT WIDTH (AT SETBACK LINE)	70 FEET



SHEET 1 OF 2
 Preliminary Plat
PHASE II
LAKELAND MEADOWS PLANNED DEVELOPMENT
LAKELAND, SHELBY COUNTY, TENNESSEE

VALLEYBROOK DEVELOPMENT, LLC.
 8620 TRINITY ROAD, SUITE 202
 CORDOVA, TN 38018
 901-870-0900
 OWNER/DEVELOPER

THE BRAY FIRM
 2950 STAGE PLAZA NORTH
 BARTLETT, TN 38134
 901-383-8668
 ENGINEER

ZONED: R1-A DATE: APRIL 2025 SCALE: 1"=50' LOTS: 16 ACRES: 10.491 ACRES

CITY OF LAKELAND -
 FUTURE PUBLIC USE

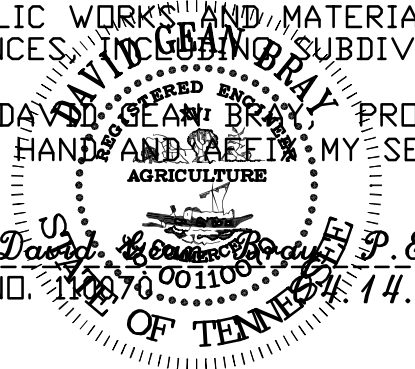
CITY OF LAKELAND -
 FUTURE PUBLIC USE

CERTIFICATE ENGINEER

I, DAVID GEAN BRAY, A PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT THE DESIGN OF PUBLIC AND PRIVATE IMPROVEMENTS PROVIDED FOR IN THE PRELIMINARY PLAT / CONSTRUCTION PLANS / FINAL PLAT (WHICHEVER IS APPLICABLE) ARE IN ACCORDANCE WITH ACCEPTABLE ENGINEERING PRACTICES, THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, CITY OF LAKELAND MANUAL FOR PUBLIC WORKS AND MATERIALS SPECIFICATIONS, AND ALL CITY OF LAKELAND ORDINANCES.

IN WITNESS WHEREOF, I, THE SAID DAVID GEAN BRAY, PROFESSIONAL CIVIL ENGINEER, HEREBY SET OUT HAND AND AFFIX MY SEAL THIS 14TH DAY OF APRIL, 2025

PROFESSIONAL CIVIL ENGINEER
STATE OF TENNESSEE CERTIFICATE NO. 14010
14.2025



CERTIFICATE OF SURVEYOR:

I, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM NOTES TAKEN DURING AN ACTUAL SURVEY MADE BY ME DURING THE MONTH OF APRIL 2025, AND THAT THIS PLAT OR SITE PLAN CORRECTLY REPRESENTS SAID SURVEY. ALL BEARINGS ARE REFERENCED TO THE 1983 TENNESSEE STATE PLANE COORDINATE SYSTEM; ALL NEW PROPERTY CORNERS ARE MARKED IN ACCORDANCE WITH LAKELAND SUBDIVISION STANDARDS; THE PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AND ALL SPECIAL FLOOD HAZARD AREAS ARE PROPERLY LOCATED AS PER THE LATEST FLOOD INSURANCE RATE MAP. ALL DIMENSIONS ARE EXPRESSED IN FEET AND DECIMALS. ALL BEARINGS, DISTANCES, AND FIELD INFORMATION ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

IN WITNESS WHEREOF, I THE SAID, _____, A LAND SURVEYOR, HEREBY SET OUT HAND AND AFFIX MY SEAL THIS 14TH DAY OF APRIL, 2025

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO.

CERTIFICATE OF OWNER(S) AND DEDICATION:

THE UNDERSIGNED, _____, HERE BY CERTIFY THAT HE IS THE CHIEF MANAGER OF VALLEYBROOK DEVELOPMENT, LLC, AND THAT THE PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE ABOVE NAMED OWNERS, PROPRIETORS, DO HEREBY DEDICATE TO THE CITY OF LAKELAND AND ALL PUBLIC IMPROVEMENTS, EASEMENTS, OR LANDS HEREIN SPECIFICALLY IDENTIFIED FOR DEDICATION, FOR THE PURPOSES OF OPERATION, CONSTRUCTION AND MAINTENANCE OF THESE IMPROVEMENTS, AS NEEDED FOR THE PROPER DEVELOPMENT AND MAINTENANCE OF SAID SUBDIVISION.

VALLEYBROOK DEVELOPMENT, LLC. _____ DATE

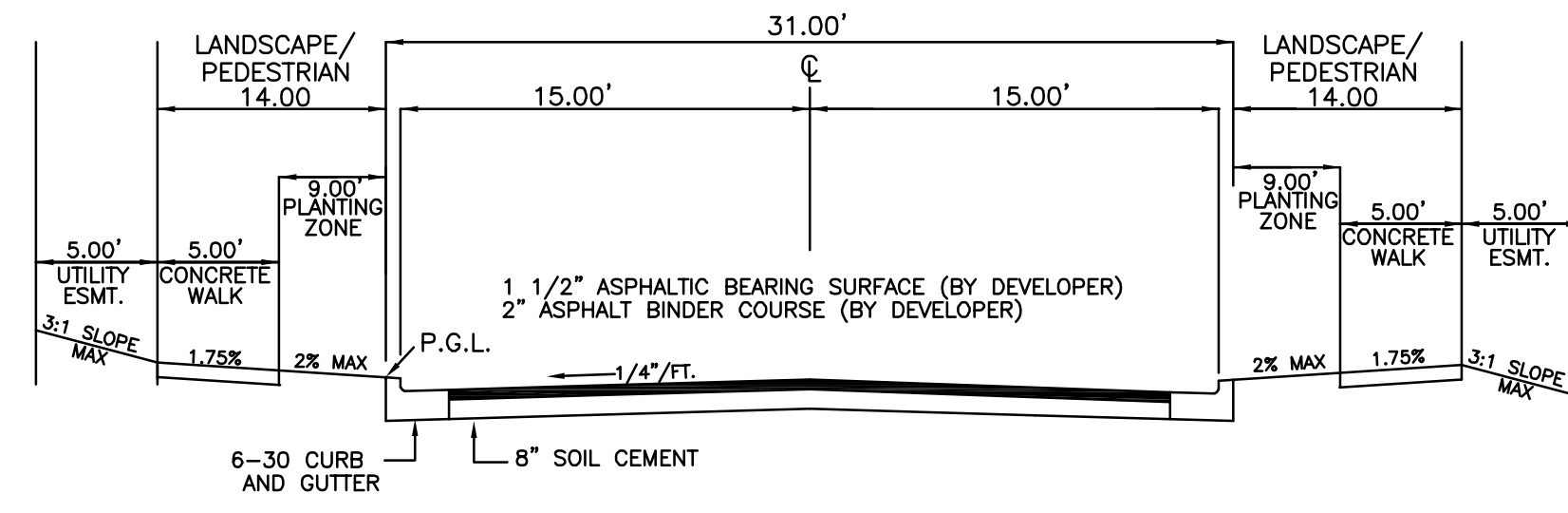
STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR THE STATE AND COUNTY AFORESAID, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO, UPON OATH, ACKNOWLEDGES HIMSELF TO BE CHIEF MANAGER OF VALLEYBROOK DEVELOPMENT, LLC. AND HE AS SUCH OWNER, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS NAME AS OWNER.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2025.

MY COMMISSION EXPIRES _____

_____ NOTARY PUBLIC



TYPICAL SECTION
N.T.S.

CERTIFICATE OF MUNICIPAL PLANNING COMMISSION APPROVAL - SUBDIVISION

I, _____, DO HEREBY CERTIFY THAT THE CITY OF LAKELAND MUNICIPAL PLANNING COMMISSION HAS APPROVED THIS FINAL PLAT. THE SIGNING OF THIS CERTIFICATE SHALL IN NO WAY BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE OF THE DEDICATION OF ANY STREET, IMPROVEMENT, OR OTHER GROUND SHOWN UPON THE PLAT.

MPC SECRETARY _____ DATE

CERTIFICATE OF CITY ENGINEER

THE FINAL PLAT IS REVIEWED AND DEEMED COMPLIANT WITH THE LAND DEVELOPMENT REGULATIONS, SUBJECT TO ANY WAIVERS, MODIFICATIONS, OR VARIANCES THEREOF GRANTED BY THE CITY OF LAKELAND.

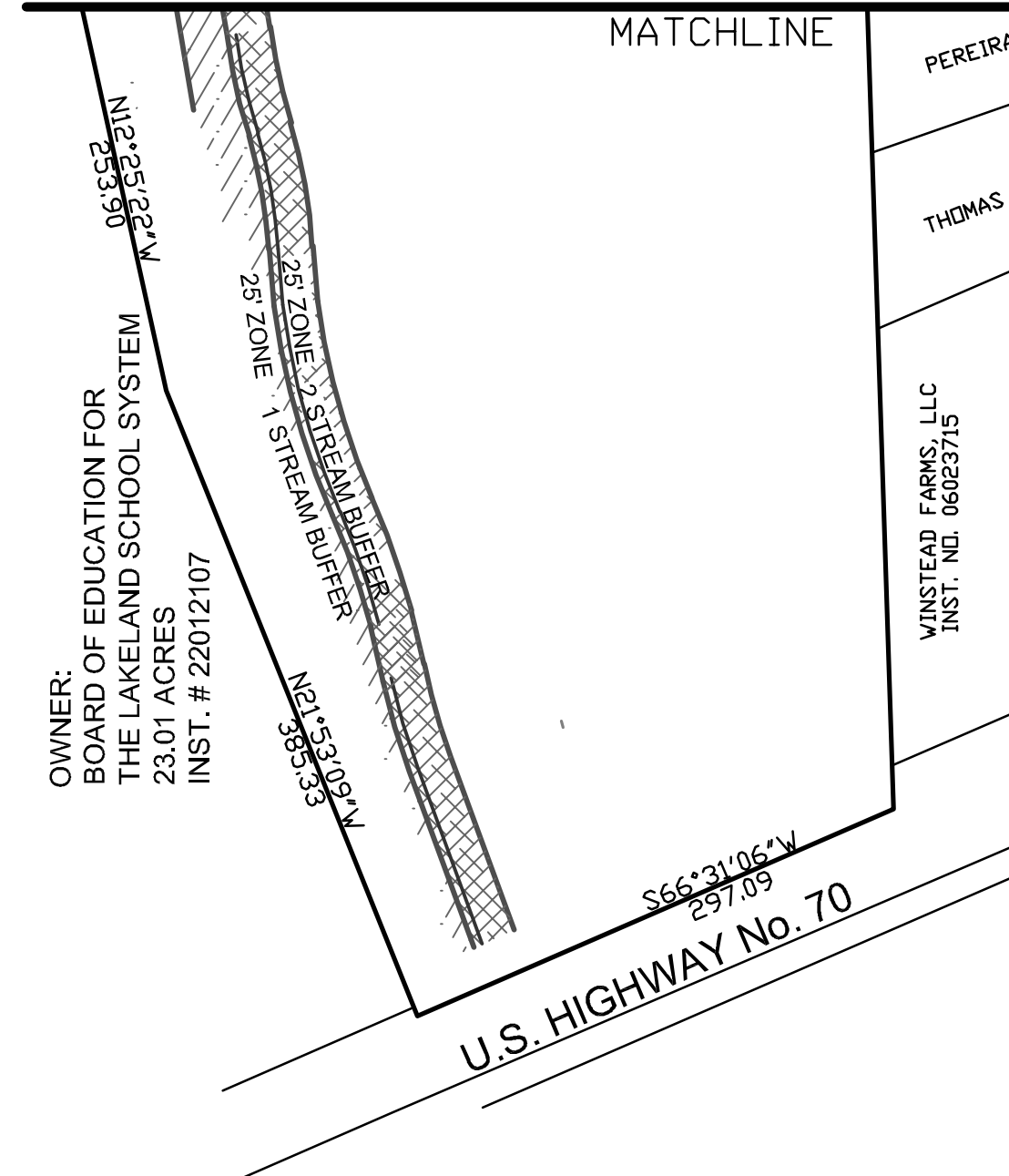
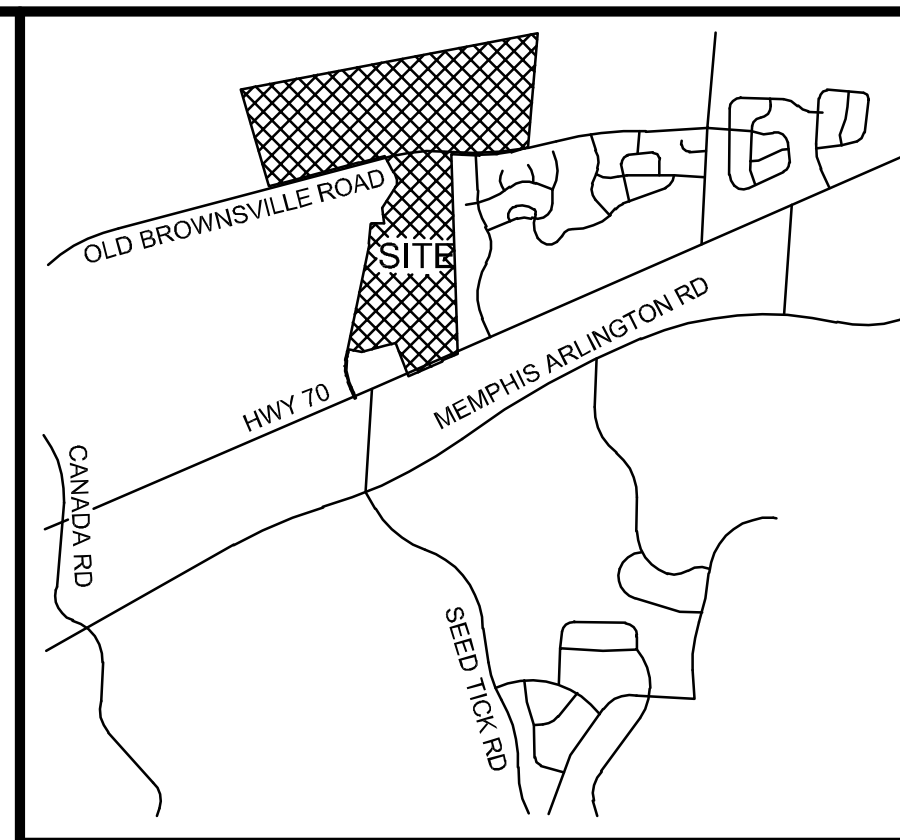
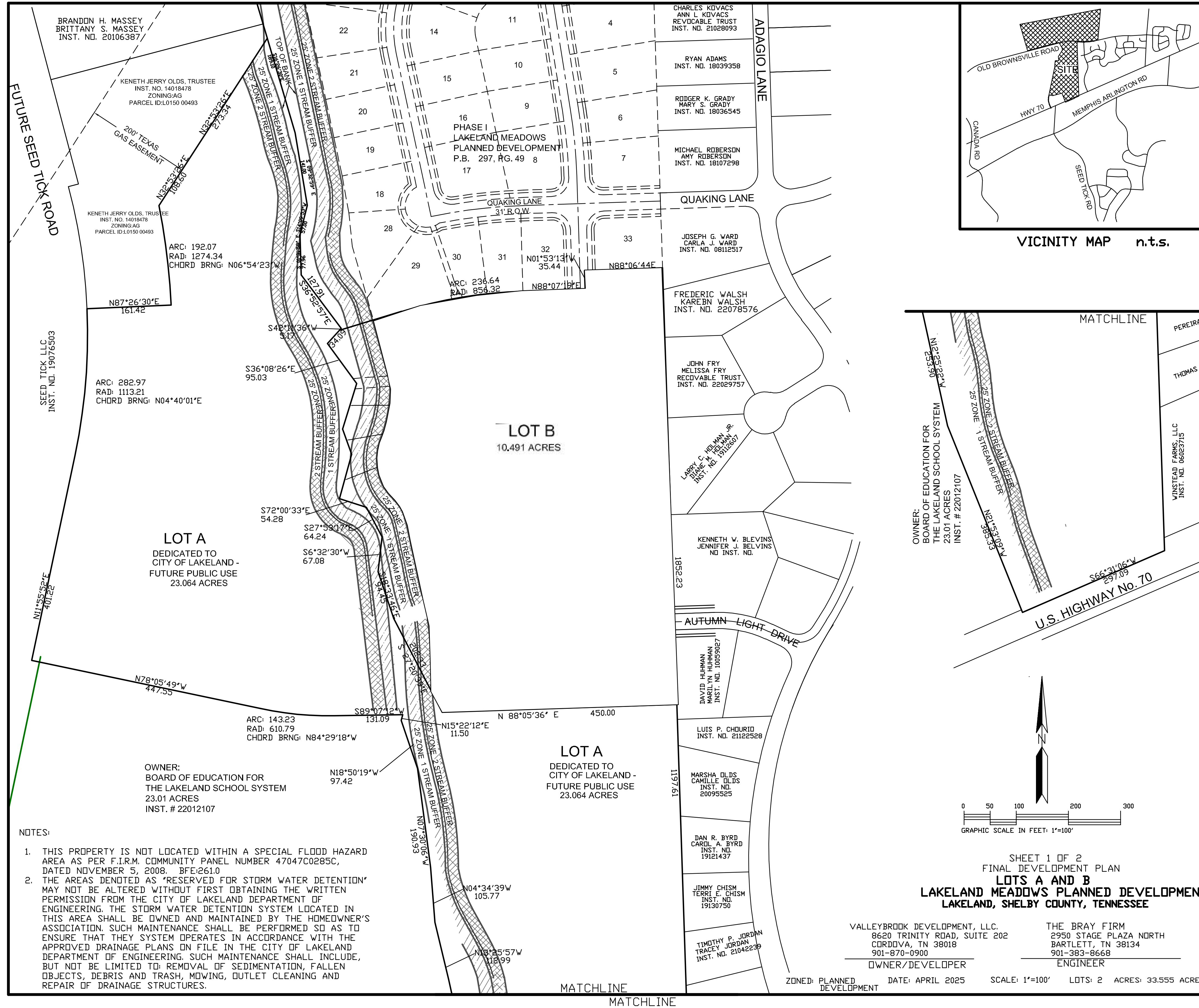
CITY ENGINEER _____ DATE

SHEET 2 OF 2
Preliminary Plat
PHASE II
LAKELAND MEADOWS PLANNED DEVELOPMENT
LAKELAND, SHELBY COUNTY, TENNESSEE

VALLEYBROOK DEVELOPMENT, LLC.
8620 TRINITY ROAD, SUITE 202
CORDOVA, TN 38018
901-870-0900
OWNER/DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

ZONED: R1-A DATE: APRIL 2025 SCALE: NONE LOTS: 12 ACRES: 10.491 ACRES



- NOTES:
1. THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS PER F.I.R.M. COMMUNITY PANEL NUMBER 47047C0285C, DATED NOVEMBER 5, 2008, BFE:261.0
 2. THE AREAS DEDICATED AS "RESERVED FOR STORM WATER DETENTION" MAY NOT BE ALTERED WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION FROM THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING. THE STORM WATER DETENTION SYSTEM LOCATED IN THIS AREA SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THEY SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED DRAINAGE PLANS ON FILE IN THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING AND REPAIR OF DRAINAGE STRUCTURES.

OWNER:
BOARD OF EDUCATION FOR
THE LAKELAND SCHOOL SYSTEM
23.01 ACRES
INST. # 22012107

WINSLEAD FARMS, LLC
INST. NO. 0862715

PEREIRA
THOMAS

U.S. HIGHWAY No. 70

0 50 100 200 300
GRAPHIC SCALE IN FEET: 1"=100'

0 100 200 300
SCALE: 1"=100'

SHEET 1 OF 2
FINAL DEVELOPMENT PLAN
LOTS A AND B
LAKELAND MEADOWS PLANNED DEVELOPMENT
LAKELAND, SHELBY COUNTY, TENNESSEE

VALLEYBROOK DEVELOPMENT, LLC
8620 TRINITY ROAD, SUITE 202
CORDOVA, TN 38018
901-870-0900
OWNER/DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

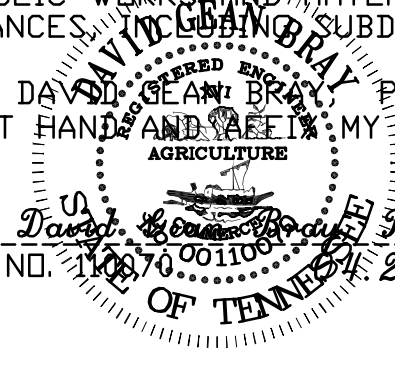
ZONED: PLANNED DEVELOPMENT DATE: APRIL 2025 SCALE: 1"=100' LOTS: 2 ACRES: 33.555 ACRES

CERTIFICATE ENGINEER

I, DAVID GEAN BRAY, A PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT THE DESIGN OF PUBLIC AND PRIVATE IMPROVEMENTS PROVIDED FOR IN THE PRELIMINARY PLAT / CONSTRUCTION PLANS / FINAL PLAT (WHICHEVER IS APPLICABLE) ARE IN ACCORDANCE WITH ACCEPTABLE ENGINEERING PRACTICES, THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, CITY OF LAKEAND MANUAL FOR PUBLIC WORKS AND MATERIALS SPECIFICATIONS, AND ALL CITY OF LAKEAND ORDINANCES AND SUBDIVISIONS.

IN WITNESS, WHEREOF, I, THE SAID DAVID GEAN BRAY, PROFESSIONAL CIVIL ENGINEER, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS 8TH DAY OF APRIL, 2024.

PROFESSIONAL CIVIL ENGINEER
STATE OF TENNESSEE CERTIFICATE NO. 10870-0110-29.2025



CERTIFICATE OF OWNER(S) AND DEDICATION:

THE UNDERSIGNED, _____, HERE BY CERTIFY THAT HE IS THE CHIEF MANAGER OF VALLEYBROOK DEVELOPMENT, LLC, AND THAT THE PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE ABOVE NAMED OWNERS, PROPRIETORS, DO HEREBY DEDICATE TO THE CITY OF LAKEAND AND ALL PUBLIC IMPROVEMENTS, EASEMENTS, OR LANDS HEREIN SPECIFICALLY IDENTIFIED FOR DEDICATION, FOR THE PURPOSES OF OPERATION, CONSTRUCTION AND MAINTENANCE OF THESE IMPROVEMENTS, AS NEEDED FOR THE PROPER DEVELOPMENT AND MAINTENANCE OF SAID SUBDIVISION.

VALLEYBROOK DEVELOPMENT, LLC. _____ DATE

STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR THE STATE AND COUNTY AFORESAID, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO, UPON OATH, ACKNOWLEDGES HIMSELF TO BE CHIEF MANAGER OF VALLEYBROOK DEVELOPMENT, LLC, AND HE AS SUCH OWNER, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS NAME AS OWNER.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2025.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

CERTIFICATE OF MUNICIPAL PLANNING COMMISSION APPROVAL - SUBDIVISION

I, _____, DO HEREBY CERTIFY THAT THE CITY OF LAKEAND MUNICIPAL PLANNING COMMISSION HAS APPROVED THIS FINAL PLAT. THE SIGNING OF THIS CERTIFICATE SHALL IN NO WAY BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE OF THE DEDICATION OF ANY STREET, IMPROVEMENT, OR OTHER GROUND SHOWN UPON THE PLAT.

MPC SECRETARY _____ DATE

CERTIFICATE OF CITY ENGINEER

THE FINAL PLAT IS REVIEWED AND DEEMED COMPLIANT WITH THE LAND DEVELOPMENT REGULATIONS, SUBJECT TO ANY WAIVERS, MODIFICATIONS, OR VARIANCES THEREOF GRANTED BY THE CITY OF LAKEAND.

CITY ENGINEER _____ DATE

SHEET 2 OF 2
FINAL DEVELOPMENT PLAN
LOTS A AND B
LAKELAND MEADOWS PLANNED DEVELOPMENT
LAKELAND, SHELBY COUNTY, TENNESSEE

VALLEYBROOK DEVELOPMENT, LLC.
8620 TRINITY ROAD, SUITE 202
CORRDVA, TN 38018
901-870-0900

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668

OWNER/DEVELOPER

ENGINEER

ZONED: PLANNED DEVELOPMENT DATE: APRIL 2025 SCALE: NONE LOTS: 2 ACRES: 32.609 ACRES



Municipal Planning and Design Review Commission

Meeting Date: Thursday, May 14, 2026

Project: Lakeland Meadows – Final Plat– Lots A and B

Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Location: 0 Old Brownsville Rd

Zoning District: AG: Agriculture (Planned Development Overlay)

Site Area: 32.609 acres

Applicant: Valley Brook Development, LLC

Representative: David Bray, The Bray Firm

STAFF RECOMMENDATION

City Staff recommends approval of the Final Plat Application for Lakeland Meadows Planned Development as submitted.

BACKGROUND:

The subject property is located on the southside of Highway 70 just west of Adagio Lane and extends north to connect to phase one of the Lakeland Meadows Planned Development. The Final Plat for this section was previously approved in May of 2025.

ANALYSIS:

The specific request for this Final Plat is to reflect the 22.118 acres being deeded to the City of Lakeland shown in Lot A with the remaining undeveloped 10.491 acres shown in Lot B to be the future residential phase two. City staff recommend approval of the Final Development Plan as submitted.

EXAMPLE MOTIONS

1. Motion to approve the Lakeland Meadows Final Plat Application subject to the following conditions:
 - a. Conditions as determined by the Planning Commission
2. Motion to approve the Lakeland Meadows Final Plat Application without conditions.
3. Motion to deny the Lakeland Meadows Final Plat Application:
 - a. Reason for denial

Meeting Date: Thursday, May 14, 2026

Project: Land Development Regulations Update – Highway 70 Corridor Standards

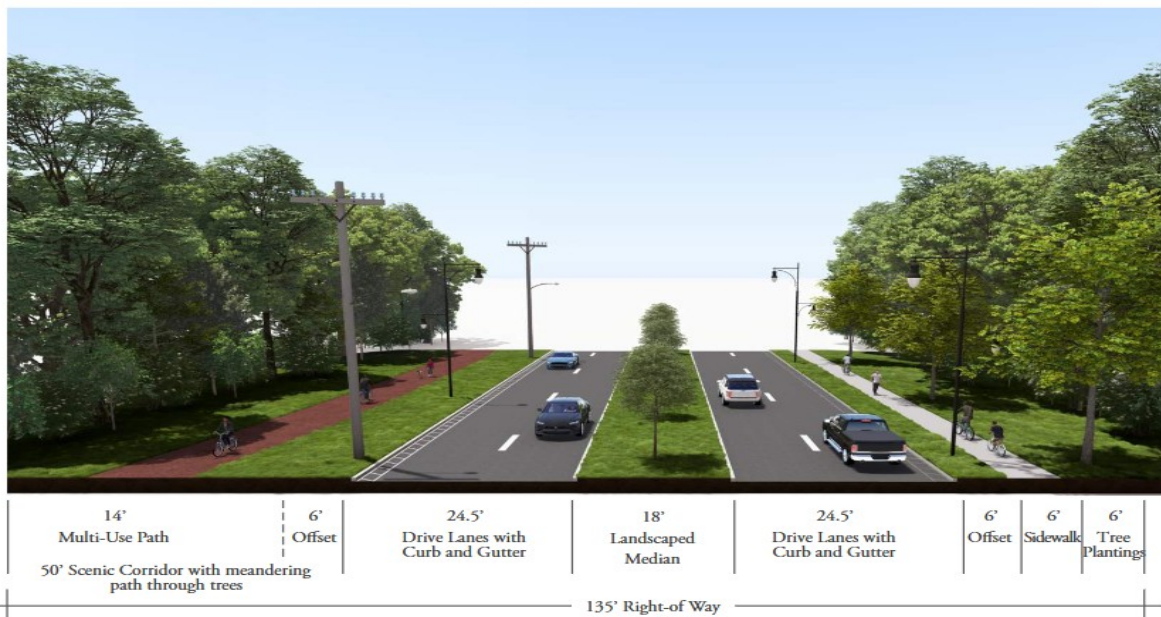
Staff Contact: Alex Barthol, Staff Planner

STAFF RECOMMENDATION

City Staff recommends approval of the Land Development Regulations Update to the Board of Commissioners as presented.

DISCUSSION:

Over the last year City Staff have worked with a consultant, OHM, to complete a comprehensive study of the Highway 70 Corridor. This study was adopted by the Board of Commissioners on April 28, 2026. The action before the MPC is a recommendation to the Board of Commissioners to adopt a text amendment that amends the street type standards to include an overlay on the Highway 70 Corridor to reflect the street scape presented with the Highway 70 Corridor study. The new standards are as follows:



Highway 70 Corridor Standards	
	Typical Right-of-Way Width 135', plus 50' Scenic Corridor Buffer on south side
Vehicular Realm	Travel Lanes 4 lanes
	Pavement Width 24.5'
	Parking Lanes¹ Not permitted
	Curbs/Shoulders None, 6' offset
	Permitted Median 18'
	Bicycle Facilities² Off street multi-use
Pedestrian Realm	Pedestrian Facilities One minimum 6' wide multi-use path in required buffer on north side
	Planting Zone Minimum 6' wide Planting Zone on north side, 50' Scenic Corridor Buffer on south side (refer to IV.1.3.C.5)
	Street Trees³ Reference Section 1.3. <i>Street Tree Size and Street Tree Spacing</i>
	Street Lighting Full Cut Off; black decorative pole; subject to DRC approval
1. Reference Section IV.1.3(D)(4) <i>Vehicular On-Street Parking</i> . 2. Reference Section IV.1.3(D)(3) <i>Bicycle Facilities</i> . 3. Applicable only if existing trees do not currently meet the street tree requirements.	

EXAMPLE MOTIONS

1. Motion to recommend approval of the Land Development Regulations Update to the Board of Commissioners subject to the following conditions:
 - a. Conditions as determined by the Planning Commission
2. Motion to recommend approval of the Land Development Regulations Update to the Board of Commissioners without conditions.
3. Motion to recommend denial of the Land Development Regulations Update to the Board of Commissioners:
 - a. Reason for recommendation

SECTION 1 – STREET TYPE STANDARDS

2/6/25

measures. Refer to street type typical sections included in the figures below. The MPC may require additional Right-of-Way elements where deemed necessary.

Table IV.1.1 Street Type Standards

Section	Classification	Typical Street Section	Right-of-Way Width (ft)*	Pavement Width (ft)
1.6.1	Minor Arterial	4 lane divided	108	44
1.6.2	Major Collector	4 lane divided	88	44
1.6.3	Minor Collector	2 lane undivided	66	36
1.6.4	Minor Collector (Rural)	2 lane undivided	66	28
1.6.5	Local Street	2 lane undivided	60	32
1.6.5	Local Street (Alt)	2 lane undivided	50	30
1.6.6	Local Street (Rural)	2 lane undivided	60	26
1.6.7	Alley	2 lane undivided	20	20
1.6.8	Scenic Corridor	2 lane undivided	68	22
1.6.10	Highway 70 Corridor	4 lane divided	135	49

* Right-of-way widths shown are a minimum. Additional right-of-way may be required for on-street parking, dedicated bicycle lanes, or turn lanes if required.

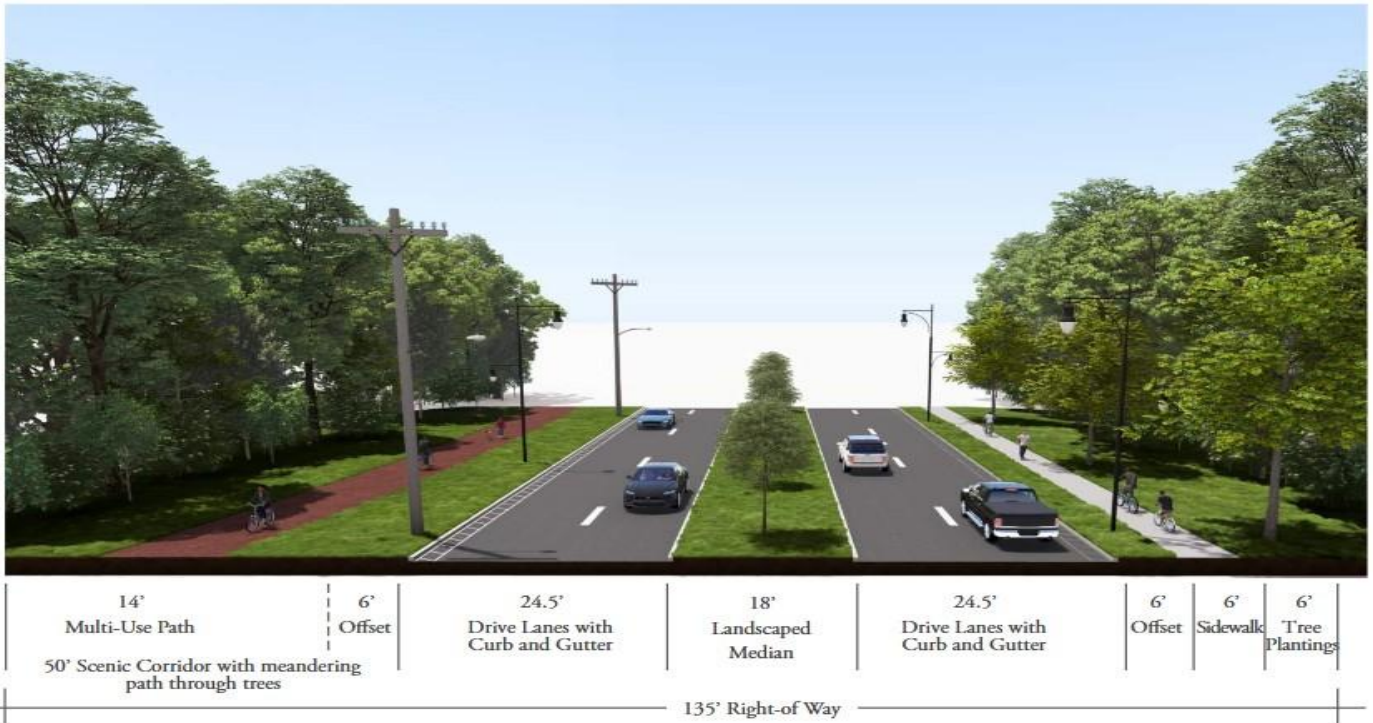
- B. Cross Sections.** The cross sections provided here for each Street Type illustrate possible configurations of that Street Type. By applying the standards outlined, other configurations may be determined acceptable if approved by the City Engineer.
- C. Rights-of-Way Elements.** Typical elements of a vehicular Right-of-Way are divided into the Vehicular and Pedestrian Realm. Each Street Type outlines which facilities are applicable. Refer to *Figure IV.1.1 Typical Right-of-Way Elements*.

1.6.10. HIGHWAY 70 CORRIDOR

E. **Intent.** The Highway 70 Corridor applies to the section of Highway 70 bounded by the City limits of Bartlett to the west and the Town limits of Arlington to the east. This cross section was developed as a result of the adopted Highway 70 Corridor Study and is intended to improve future traffic conditions, as well as ascetically distinguish the City of Lakeland from the adjacent municipalities. The standards below were established as scenario 1 in that study.

F. **Applicability.** The Highway 70 Corridor Overlay applies to all sections of Highway 70 within the City limits of Lakeland.

Highway 70 Corridor Standards	
	Typical Right-of-Way Width 135'
Vehicular Realm	Travel Lanes 4 lanes
	Pavement Width 49.5'
	Parking Lanes¹ Not permitted
	Curbs/Shoulders Concrete Vertical
	Permitted Median 18'
	Bicycle Facilities² Off street multi-use
Pedestrian Realm	Pedestrian Facilities One minimum 14' wide multi-use path in required buffer on north side. 6' sidewalk required on the south side.
	Planting Zone Minimum 6' wide Planting Zone on south side, 50' Scenic Corridor Buffer on north side side (refer to IV.1.3.C.5)
	Street Trees³ Reference Section 1.3. <i>Street Tree Size and Street Tree Spacing</i>
	Street Lighting Full Cut Off; black decorative pole; subject to DRC approval
1. Reference Section IV.1.3(D)(4) <i>Vehicular On-Street Parking</i> . 2. Reference Section IV.1.3(D)(3) <i>Bicycle Facilities</i> . 3. Applicable only if existing trees do not currently meet the street tree requirements.	



1.6.11. CUL-DE-SACS.

- A. **Intent.** To design Cul-de-sacs, that limit the amount of uninterrupted pavement, provide green space, allow for emergency access, reduce vehicular and pedestrian travel time, reduce congestion, encourage walking, and encourage block arrangements that minimize rear-facing buildings along streets.
- B. **Applicability.**
1. Cul-de-sacs may be developed adjacent to either a Collector or a Local Street.
 2. Cul-de-sacs may only be utilized adjacent to residential districts RR through RM1, unless a modification is approved by MPC.
- C. **General Underlying Street Requirements.** The following general requirements of the underlying Street Type shall be maintained:
1. Pedestrian facilities are required on the outside of cul-de-sac only.
 2. Any required Street Buffer is required on the outside of cul-de-sac only.
- D. **Specific Requirements.** The following specific requirements apply.
1. **Center Median.** A center median is required, with a landscaped area of at least 1,400 square feet and a minimum dimension of twenty (20) feet in either direction.
 - (1) For the center median to count towards Neighborhood Scale Open Space Requirements (refer to *Section III.2 Open Space Type Standards*), it shall