



Municipal Planning & Design Review Commission
Regular Meeting Agenda
Thursday, October 10, 2024, 5:30 PM
City Hall, Lakeland, Tennessee 38002

- I. CALL TO ORDER:
- II. ROLL CALL:
- III. APPROVAL OF MINUTES OF PREVIOUS MEETING:
 - 1. **Regular Meeting Minutes** - August 8, 2024
- IV. PUBLIC DISCUSSION:
- V. REPORTS OF OFFICERS AND COMMITTEES:
- VI. UNFINISHED BUSINESS:
- VII. NEW BUSINESS:
 - 1. **Action** - approval of sign at The Refuge Church from the Design Review Commission.
 - 2. **Action** - approval of Evergreen Planned Development (PD) Phases 2 and 3 Preliminary Development Plan.
 - 3. **Action** - approval of site plan for townhouses on Area D, Lot 10 at Lakeland Commons Planned Development (PD).
 - 4. **Action** - approval of site plan for a gelato stand on Area B, Lot 2 at Lakeland Commons Planned Development (PD).
 - 5. **Action** - approval of site plan for a pavilion on Area B, Lot 9 at Lakeland Commons Planned Development (PD).
- VIII. ANNOUNCEMENTS:
- IX. ADJOURNMENT:



Municipal Planning & Design Review Commission
Regular Meeting Minutes
Thursday, August 8, 2024, 5:30 PM
City Hall, Lakeland, Tennessee 38002

I. CALL TO ORDER:

The meeting was called to order by Chair Adam Henry at 5:30 p.m. on Thursday, August 8, 2024.

II. ROLL CALL:

Adam Henry	Present
Amber Hitchcock	Present
Shawn Rowland	Present
Sal Feraci	Present
Rebecca Hecker-Mosbrugger	Present
Carl Helton	Present
Commissioner Jim Atkinson	Present
Bill Sheridan	Absent

Staff personnel in attendance were City Manager Michael Walker (as acting recorder), Planning Director Paul Luker, City Engineer Emily Harrell and Staff Planner Alex Barthol.

III. APPROVAL OF MINUTES OF PREVIOUS MEETING:

For the record: Chair Adam Henry motioned to approve all previous meeting minutes with one vote. No objections were heard.

1. **Regular Meeting Minutes** - May 9, 2024
2. **Regular Meeting Minutes** - June 13, 2024
3. **Special Called Meeting Minutes** - June 27, 2024

For the record: Chair Adam Henry moved to amend the Special Called Meeting Minutes on June 27, 2024 to reflect a corrected Call To Order time of 5:00pm. No objections were heard.

Shawn Rowland moved to approve the previous meeting minutes, seconded by Commissioner Atkinson.

When the question was called the Regular Meeting Minutes - May 9, 2024 and Regular Meeting Minutes - June 13, 2024 passed as presented and Special Called Meeting Minutes - June 27, 2024 passed as amended, voice vote, 7 in favor 0 against 0 abstain (7-0-0).

Yea: Adam Henry, Amber Hitchcock, Shawn Rowland, Sal Feraci, Rebecca Hecker-Mosbruger, Carl Helton, Commissioner Atkinson

Nay: None

Abstain: None

IV. PUBLIC DISCUSSION:

For the record: Public comments were heard at the time of the related agenda item.

V. REPORTS OF OFFICERS AND COMMITTEES:

None.

VI. OLD BUSINESS:

None.

VII. NEW BUSINESS:

1. **Action** - approval of Lakeland Meadows Planned Development Ph. V and VI - Landscape Plan.

Amber Hitchcock moved to bring this item to the floor, seconded by Sal Feraci.

Staff Planner Alex Barthol presented this item.

Discussion ensued.

For the record: Louis Ricci with Valleybrook Development provided additional context to the board members.

When the question was called the approval of Lakeland Meadows Planned Development Ph. V and VI - Landscape Plan passed as presented, voice vote, 7 in favor 0 against 0 abstain (7-0-0).

Yea: Adam Henry, Amber Hitchcock, Shawn Rowland, Sal Feraci, Rebecca Hecker-Mosbruger, Carl Helton, Commissioner Atkinson

Nay: None

Abstain: None

2. **Action** - approval of a Land Disturbance Permit for Heron's Ridge Planned Development.

Rebecca Hecker-Mosbrugger moved to bring this item to the floor, seconded by Carl Helton.

Staff Planner Alex Barthol presented this item.

For the record: Wesley Wooldrige with the Renaissance Group presented additional context to the board members.

Discussion ensued.

For the record: Public comments were heard from the following:

1. Don Riffe of the 10000 block of Gray Heron Lane

Discussion ensued.

Commissioner Atkinson moved to add the following conditions:

1. The construction entrance shall be from Beverle Rivera Road and not through the neighborhood.

When the question was called the approval of a Land Disturbance Permit for Heron's Ridge Planned Development passed with conditions, voice vote, 6 in favor 0 against 1 abstain (6-0-1).

Yea: Adam Henry, Amber Hitchcock, Shawn Rowland, Rebecca Hecker-Mosbrugger, Carl Helton, Commissioner Atkinson

Nay: None

Abstain: Sal Feraci

VIII. ANNOUNCEMENTS:

1. City Manager Michael Walker made an announcement regarding the Vietnam Veterans Wall to be held on August 23, 24 and 25 at the previous Econolodge site.
2. Chair Adam Henry made an announcement regarding the Vietnam Veterans Wall to advise that volunteers are still needed for the event.
3. City Manager Michael Walker made an announcement regarding the upcoming Community Advisory Board meeting to be held on August 13 with special guest speaker Senator Brent Taylor.

IX. ADJOURNMENT:

There being no other business on which to act, the meeting was adjourned without objection at 5:51pm on Thursday, August 8, 2024.

These minutes were approved on October 8, 2024.

Shawn Rowland
Secretary

ATTEST:

Cheyenne Carter
City Recorder

DRAFT



Municipal Planning and Design Review Commission

Meeting Date: October 10, 2024

Project: The Refuge Church - Ground Sign

Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Location: 9817 Huff N Puff Rd

Parcel ID: L0159 00409

Zoning District: C-2 General Business

Site Area: 1.35 acres

Applicant: The Refuge Church

Representative: Pastor Kyle Chessor

STAFF RECOMMENDATION

City Staff recommends approval of the ground sign application for the Refuge Church as submitted.

DISCUSSION

The Refuge Church is seeking approval of a ground sign on the south side of the property located at 9817 Huff N Puff Rd abutting I-40.

ANALYSIS

Upon review by the City Staff the proposed sign is in conformance with all aspects of the City of Lakeland Sign Ordinance regarding size, color, internal illumination and base details. It is however non-conforming in regard to its placement on the site:

(2) The monument-style interstate sign shall be placed in the middle third of the frontage directly abutting Interstate 40 unless otherwise authorized by the design review commission to be placed on a property not facing the Interstate.

City Staff has reviewed the application and feels that the request being made in regard to the placement of the sign is appropriate as it gives the best visibility from I-40 as well as Huff N Puff Road.

EXAMPLE MOTIONS

1. Motion to approve The Refuge Church Ground Sign application subject to the following conditions:
 - a: Conditions determined by the Design Review Commission
2. Motion to approve The Refuge Church Ground Sign application without conditions.
3. Motion to deny The Refuge Church Ground Sign application:
 - A: Reason for denial



Permanent Sign Application

Planning Department
10001 US Highway 70
Lakeland, TN 38002
Telephone (901)867-2717

Applicant:

Name: The Refuge Church
Sign Company or Partnership: Signworks
Address: 9817 Huff N Puff Rd
City: Lakeland State: TN Zip: 38002
Telephone: 9015459777 Email: pastorkyle@refugememphis.org
Location of Sign Parcel: L0159 00409 Zoning Classification Commerical

Owner:

Name: The Refuge Church
Address: 9817 Huff N Puff Rd
City: Lakeland State: TN Zip: 38002
Telephone: 9012950099 Email: pastorkyle@refugememphis.org

Type of Illumination (Check One):

- ☐ None ☐ External
☒ Internal ☐ Both External and Internal

Type of Signs(s). Check all that apply:

- | | | |
|---|---|--|
| ☒ Building Marker | ☐ Menu Board | ☐ Yard Sale |
| ☐ Changeable Copy | ☐ Model Home | ☐ Gasoline Trade |
| ☐ Construction | ☐ Principal Ground Sign | ☐ Grand Opening |
| ☐ Directory | ☐ Real-Estate | ☐ Suspended Sign |
| ☐ Flag/ Flagpole | ☐ Subdivision Entry | ☐ Shopping Center |
| ☐ Identification | ☐ Temporary Sign | |
| ☐ Incidental Sign | Dates: From _____ to _____ | |
| ☐ Interstate Monument | ☐ Wall (Nonresidential) | |
| ☐ Institutional, Temporary | ☐ Wall (Residential/Institutional) | |

Sign Dimensions and Square Footage:

Length: 20' Width: 1' Height: 5' Square Footage: 100



Permanent Sign Application

Planning Department
10001 US Highway 70
Lakeland, TN 38002
Telephone (901)867-2717

Conditions of Permit Issuance:

1. The Plan/Permit is void if construction has not begun within six (6) months from the date the permit was issued or if work is suspended or abandoned for 120 or more consecutive days following the beginning of construction
2. The Plan/Permit is void if incorrect information is given on the application for the permit.
3. Once sign construction is complete a final inspection must be scheduled with the City of Lakeland.

Contact:

Katrina Shields
Code Enforcement Officer
kshields@lakelandtn.org
901-867-5404

Alex Barthol, MRCP
City Planner
abarthol@lakelandtn.org
901-317-6023

Applicant and owner must sign to indicate that they have read and understand the sign regulations provided in the information sheet and conditions of permit issuance.

Kyle Chesson

Signature of Person Completing & Submitting this Application

8-23-24

Date

Signature of Owner (If applicant is not owner)

Date

SIGN SPECS

MANUFACTURE AND INSTALL ONE DOUBLE-SIDED CABINET SIGN, PAINTED BLACK WITH PUSH THROUGH WHITE LETTERING. CHURCH NAME AND LOGO. SIGN TO FACE I-40 AND CHURCH PARKING LOT,



SIGN INTERNALLY ILLUMINATED LED
BRICK AND ELECTRICAL HOOK UP BY OTHERS

Custom Graphics & Signage
Signworks

2151 York Ave | Memphis, TN 38104 | signworksmemphis.com
901.272.3889 | info@signworksmemphis.com

MUST BE SIGNED
TO ENTER PRODUCTION

*Renderings are for illustration
purposes only. Colors are
approximate.*

© 2024

APPROVED BY: _____

Client THE REFUGE CHURCH

Account Manager

Dale Henderson | dale@signworksmemphis.com

DATE: _____

DRAWING NO. _____

DATE

08/09/2024
Page 10 of 68

FINAL LOOK



Site Address: _9817 Huff N Puff Rd, Lakeland, TN 38002_
Site Contact/notes: _KYLE CHESSOR 901-545-9777_

Graphics & Signage
Signworks

2151 York Ave | Memphis, TN 38104 | Signworksmemphis.com
901.272.3889 | info@signworksmemphis.com

**MUST BE SIGNED
TO ENTER PRODUCTION**

*Renderings are for illustration
purposes only. Colors are
approximate.*

© 2024

APPROVED BY: _____

Client _____

Account Manager:

Dale Henderson | dale@signworksmemphis.com

DATE: _____

DRAWING NO. _____

DATE

08/09/2024
Page 11 of 68

SITE PLAN

PARCEL ID:
L0159 00409

SIGN
LOCATION



Site Address: _9817 Huff N Puff Rd, Lakeland, TN 38002__

Site Contact/notes: _KYLE CHESSOR 901-545-9777_____

Custom Graphics & Signage
Signworks

2151 York Ave | Memphis, TN 38104 | Signworksmemphis.com
901.272.3889 | info@signworksmemphis.com

MUST BE SIGNED
TO ENTER PRODUCTION

Renderings are for illustration
purposes only. Colors are
approximate.

© 2024

APPROVED BY: _____

Client

The Refuge Church

Account Manager

Dale Henderson | dale@signworksmemphis.com

DATE: _____

DRAWING NO. _____

DATE

08/09/2024
Page 12 of 68

Meeting Date: Thursday, October 10, 2024

Project: Evergreen Planned Development – Phase 2 and 3 Preliminary Development Plan

Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Location: North side of Old Brownsville Rd, north of Ivy Creek Lane

Parcel ID: L0140 00326

Zoning District: AG (PUD)

Site Area: 57.09 acres

Applicant: Evergreen, LLC

Representative: David Bray

STAFF RECOMMENDATION

City Staff recommends approval of the Evergreen Planned Development Phase 2 and 3 Preliminary Development Plan application as submitted.

BACKGROUND:

The subject property is located north side of Old Brownsville Rd, north of Ivy Creek Lane. The plan was first approved by the Board of Commissioners in 2007 and extended on August 5, 2010, and again on November 10, 2014. The PD expired in 2017 before being extended on January 16, 2020. The latest amendment was approved by the Board of Commissioners on October 8, 2020. The Final Development Plan for Phase one was approved by the MPC on April 11, 2024.

DISCUSSION

The applicant is seeking approval of a Preliminary Development Plan application for Phase two and three of the Evergreen Planned Development. These phases include a total of ninety-seven (97) lots and two common open space areas designated as tree preservation areas.

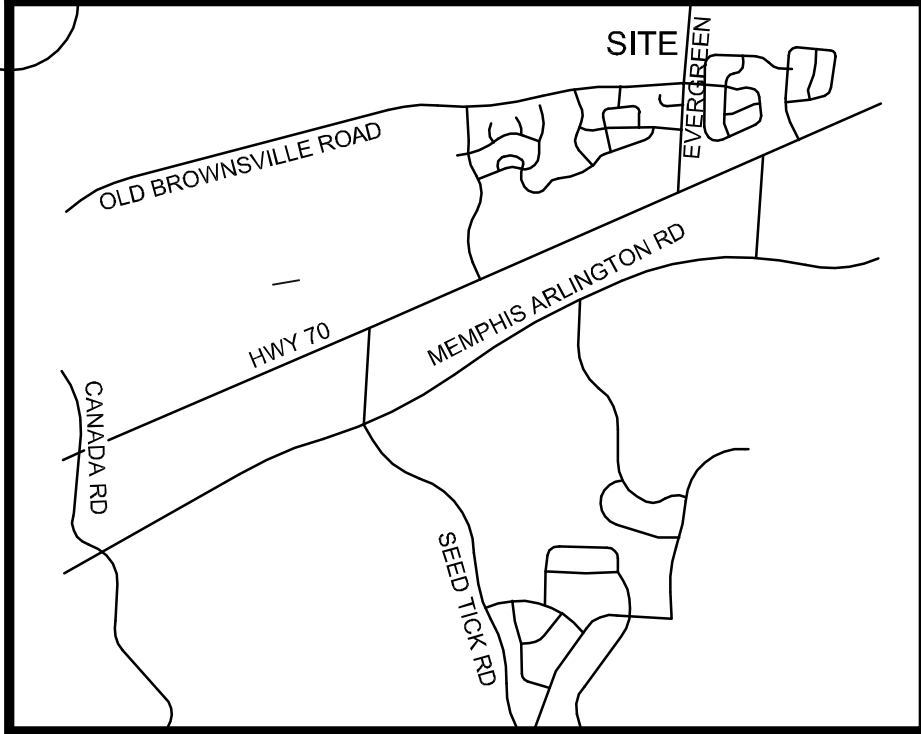
ANALYSIS AND RECOMMENDATION:

The only deviation noted in this application from the original submittal is the road layout in phase three, however this change does not impact the number of lots and is still in compliance with the approved outline plan. The application is also in basic compliance with the City of Lakeland Land Development Regulations. City Staff recommends approval of the preliminary Development Plans subject to the following conditions:

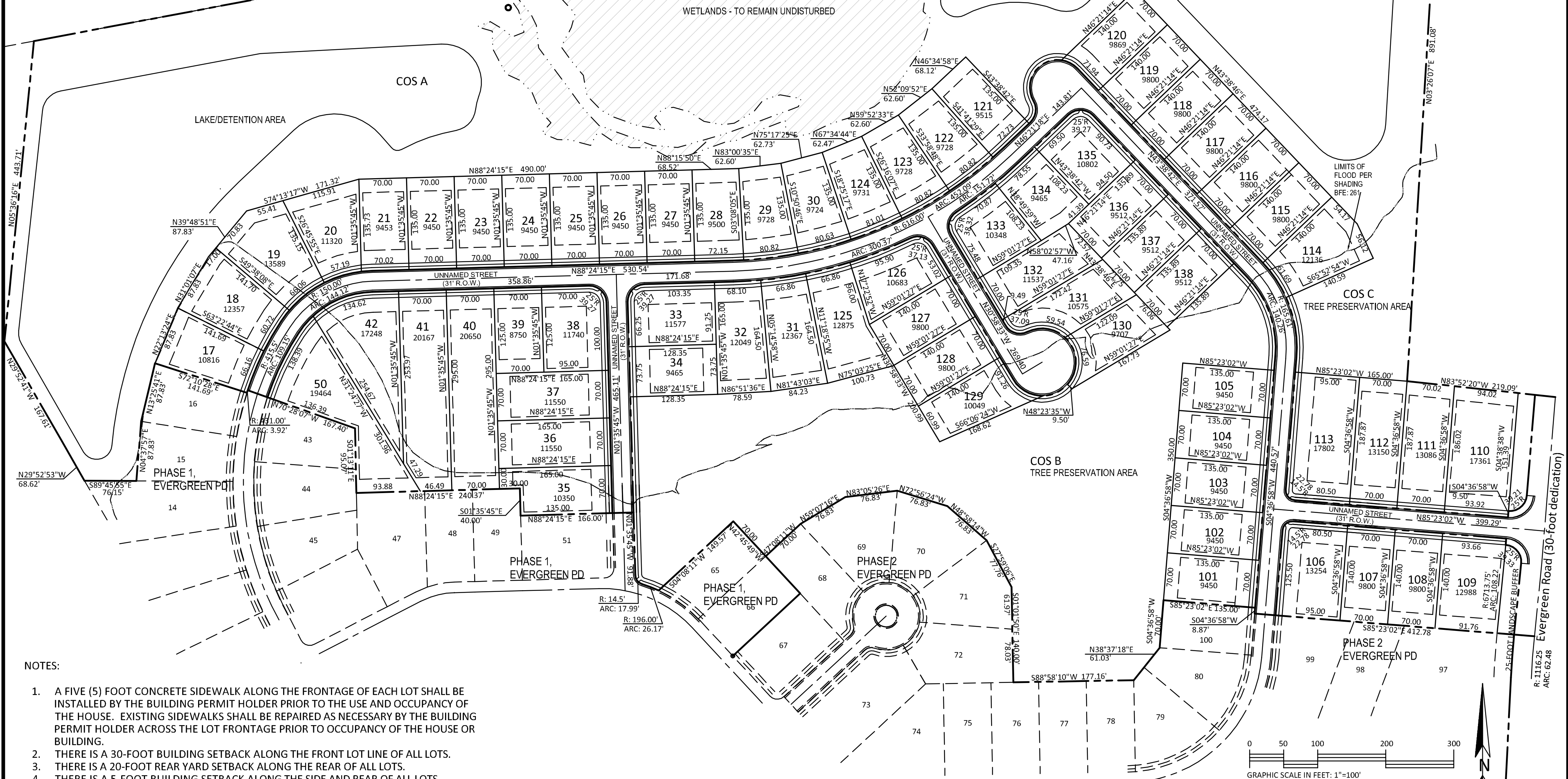
- Lots 129 and 130 shall be conventional foundation due to the steep grade and potential impact to the tree preservation area if graded for slab on grade foundation.
- Cul-de-sacs shall be designed to accommodate fire truck turnaround

EXAMPLE MOTIONS

1. Motion to approve the Evergreen Planned Development Phase 2 and 3 PDP subject to the following conditions:
 - a. Conditions recommended by Staff.
 - b. Conditions as determined by the Planning Commission
2. Motion to approve the Evergreen Planned Development Phase 2 and 3 PDP without conditions.
3. Motion to deny the Evergreen Planned Development Phase 2 and 3 PDP application:
 - a. Reason for denial



VICINITY MAP n.t.s.



NOTES:

1. A FIVE (5) FOOT CONCRETE SIDEWALK ALONG THE FRONTAGE OF EACH LOT SHALL BE INSTALLED BY THE BUILDING PERMIT HOLDER PRIOR TO THE USE AND OCCUPANCY OF THE HOUSE. EXISTING SIDEWALKS SHALL BE REPAIRED AS NECESSARY BY THE BUILDING PERMIT HOLDER ACROSS THE LOT FRONTAGE PRIOR TO OCCUPANCY OF THE HOUSE OR BUILDING.
2. THERE IS A 30-FOOT BUILDING SETBACK ALONG THE FRONT LOT LINE OF ALL LOTS.
3. THERE IS A 20-FOOT REAR YARD SETBACK ALONG THE REAR OF ALL LOTS.
4. THERE IS A 5-FOOT BUILDING SETBACK ALONG THE SIDE AND REAR OF ALL LOTS.
5. THERE IS A 9.5-FOOT WIDE LANDSCAPE/PEDESTRIAN EASEMENT ALONG THE FRONT OF LOTS AND 5-FOOT UTILITY EASEMENT ON ALL SIDE LINES. UTILITY AND DRAINAGE EASEMENTS AND UTILITY AND SEWER EASEMENTS SHALL ALSO INCORPORATE UTILITY AND PEDESTRIAN EASEMENTS AS APPROPRIATE.
6. THERE SHALL BE A 5-FOOT UTILITY EASEMENT ON ALL SIDE AND REAR LOT LINES WITH THE EXCEPTION OF SIDE LOT LINES WITH PUBLIC DRAINAGE EASEMENTS.
7. A PORTION OF THIS PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS PER F.I.R.M. COMMUNITY PANEL NUMBER 47047C0215G, DATED FEBRUARY 6, 2013. BFE:261.0
8. ALL COS LOTS SHALL BE OWNED AND MAINTAINED BY EVERGREEN PD HOA. HOA SHALL SUBMIT MAINTENANCE PLAN FOR MOWING, TRIMMING, PRUNING, & IRRIGATION MAINTENANCE.
9. 50-FOOT CONSERVATION EASEMENT NOTE SHALL CONTAIN THE FOLLOWING - HOA TO MAINTAIN 50-FOOT CONSERVATION EASEMENT ALONG OLD BROWNSVILLE RD. PERMITTED MAINTENANCE ACTIVITIES INCLUDE REMOVAL OF DEAD OR DISEASED TREES AND CLEARING UNDERBRUSH. NO HEAVY EQUIPMENT SHALL BE PERMITTED WITHIN THE EASEMENT.

SHEET 1 OF 3
PRELIMINARY DEVELOPMENT PLAN
PHASE THREE
EVERGREEN PLANNED DEVELOPMENT
LAKELAND, SHELBY COUNTY, TENNESSEE

EVERGREEN, LLC.
10971 CHAPEL HILL ROAD
LAKELAND, TN 38002
901-301-3990

OWNER/DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668

ENGINEER

ZONED: PLANNED
DEVELOPMENT

DATE: SEPTEMBER 2024

SCALE: 1"=100'

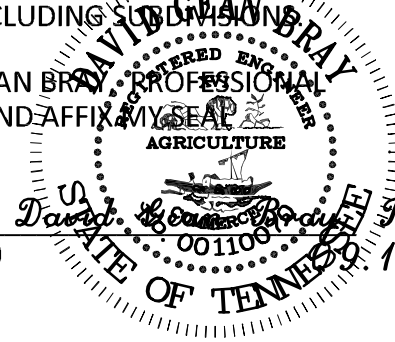
LOTS: 65 ACRES: 44.462 ACRES

CERTIFICATE ENGINEER

I, DAVID GEAN BRAY, A PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT THE DESIGN OF PUBLIC AND PRIVATE IMPROVEMENTS PROVIDED FOR IN THE PRELIMINARY PLAT / CONSTRUCTION PLANS / FINAL PLAT (WHICHEVER IS APPLICABLE) ARE IN ACCORDANCE WITH ACCEPTABLE ENGINEERING PRACTICES, THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, CITY OF LAKELAND MANUAL FOR PUBLIC WORKS AND MATERIALS SPECIFICATIONS, AND ALL CITY OF LAKELAND ORDINANCES, INCLUDING SUBDIVISION ORDINANCES.

IN WITNESS, WHEREOF, I, THE SAID DAVID GEAN BRAY, A PROFESSIONAL CIVIL ENGINEER, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS 14TH DAY OF SEPTEMBER, 2024.

PROFESSIONAL CIVIL ENGINEER
STATE OF TENNESSEE CERTIFICATE NO. 110070



CERTIFICATE OF SURVEYOR:

I, _____, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM NOTES TAKEN DURING AN ACTUAL SURVEY MADE BY ME DURING THE MONTH OF _____, AND THAT THIS PLAT OR SITE PLAN CORRECTLY REPRESENTS SAID SURVEY. ALL BEARINGS ARE REFERENCED TO THE 1983 TENNESSEE STATE PLANE COORDINATE SYSTEM; ALL NEW PROPERTY CORNERS ARE MARKED IN ACCORDANCE WITH LAKELAND SUBDIVISION STANDARDS; THE PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AND ALL SPECIAL FLOOD HAZARD AREAS ARE PROPERLY LOCATED AS PER THE LATEST FLOOD INSURANCE RATE MAP. ALL DIMENSIONS ARE EXPRESSED IN FEET AND DECIMALS. ALL BEARINGS, DISTANCES, AND FIELD INFORMATION ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

IN WITNESS WHEREOF, I THE SAID, GEAN PAUL BRAY, A LAND SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____, 2024

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO.

CERTIFICATE OF OWNER(S) AND DEDICATION:

THE UNDERSIGNED, _____, HERE BY CERTIFY THAT HE IS THE CHIEF MANAGER OF EVERGREEN, LLC. AND THAT THE PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE ABOVE NAMED OWNERS, PROPRIETORS, DO HEREBY DEDICATE TO THE CITY OF LAKELAND AND ALL PUBLIC IMPROVEMENTS, EASEMENTS, OR LANDS HEREIN SPECIFICALLY IDENTIFIED FOR DEDICATION, FOR THE PURPOSES OF OPERATION, CONSTRUCTION AND MAINTENANCE OF THESE IMPROVEMENTS, AS NEEDED FOR THE PROPER DEVELOPMENT AND MAINTENANCE OF SAID SUBDIVISION.

EVERGREEN, LLC. _____ DATE _____

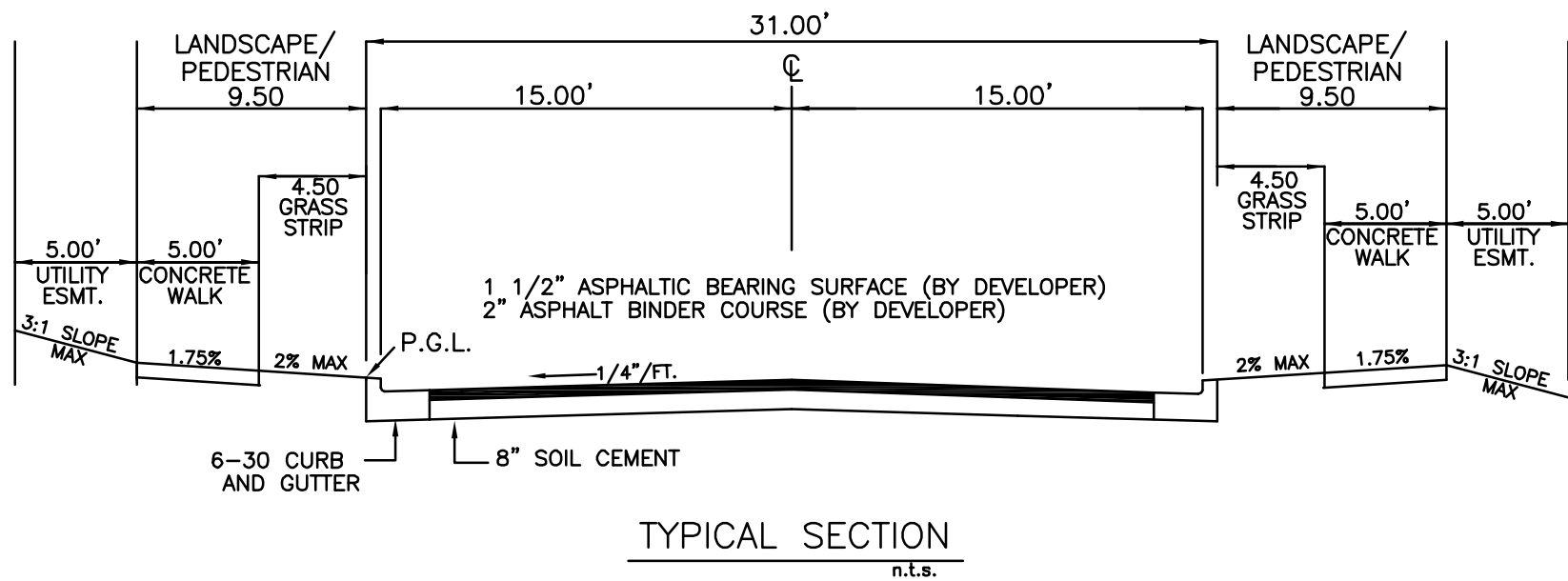
STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR THE STATE AND COUNTY AFORESAID, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO, UPON OATH, ACKNOWLEDGES HIMSELF TO BE CHIEF MANAGER OF EVERGREEN, LLC. AND HE AS SUCH OWNER, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS NAME AS OWNER.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, 2024.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC



CERTIFICATE OF MUNICIPAL PLANNING COMMISSION APPROVAL - SUBDIVISION

I, _____, DO HEREBY CERTIFY THAT THE CITY OF LAKELAND MUNICIPAL PLANNING COMMISSION HAS APPROVED THIS FINAL PLAT. THE SIGNING OF THIS CERTIFICATE SHALL IN NO WAY BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE OF THE DEDICATION OF ANY STREET, IMPROVEMENT, OR OTHER GROUND SHOWN UPON THE PLAT.

MPC SECRETARY _____ DATE _____

CERTIFICATE OF CITY ENGINEER

THE FINAL PLAT IS REVIEWED AND DEEMED COMPLIANT WITH THE LAND DEVELOPMENT REGULATIONS, SUBJECT TO ANY WAIVERS, MODIFICATIONS, OR VARIANCES THEREOF GRANTED BY THE CITY OF LAKELAND.

CITY ENGINEER _____ DATE _____

NOTE: PROTECTIVE COVENANTS AND HOA DOCUMENTS ARE RECORDED IN INSTRUMENT NUMBER _____.

SHEET 3 OF 3
PRELIMINARY DEVELOPMENT PLAN
PHASE THREE
EVERGREEN PLANNED DEVELOPMENT
LAKELAND, SHELBY COUNTY, TENNESSEE

EVERGREEN, LLC.
10971 CHAPEL HILL ROAD
LAKELAND, TN 38002
901-301-3990
OWNER/DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

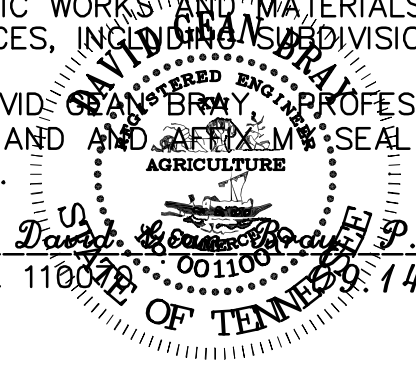
ZONED: PLANNED DEVELOPMENT
DATE: SEPTEMBER 2024
SCALE: 1"=100'
LOTS: 65
ACRES: 44.462 ACRES

CERTIFICATE ENGINEER

I, DAVID GEAN BRAY, A PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT THE DESIGN OF PUBLIC AND PRIVATE IMPROVEMENTS PROVIDED FOR IN THE PRELIMINARY PLAT / CONSTRUCTION PLANS / FINAL PLAT (WHICHEVER IS APPLICABLE) ARE IN ACCORDANCE WITH ACCEPTABLE ENGINEERING PRACTICES, THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, CITY OF LAKELAND MANUAL FOR PUBLIC WORKS AND MATERIALS SPECIFICATIONS, AND ALL CITY OF LAKELAND ORDINANCES, INCLUDING DIVISIONS.

IN WITNESS, WHEREOF, I, THE SAID DAVID GEAN BRAY, A PROFESSIONAL CIVIL ENGINEER, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS 14TH DAY OF SEPTEMBER, 2024.

PROFESSIONAL CIVIL ENGINEER
STATE OF TENNESSEE CERTIFICATE NO. 116076



CERTIFICATE OF SURVEYOR:

I, _____, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM NOTES TAKEN DURING AN ACTUAL SURVEY MADE BY ME DURING THE MONTH OF _____, AND THAT THIS PLAT OR SITE PLAN CORRECTLY REPRESENTS SAID SURVEY. ALL BEARINGS ARE REFERENCED TO THE 1983 TENNESSEE STATE PLANE COORDINATE SYSTEM; ALL NEW PROPERTY CORNERS ARE MARKED IN ACCORDANCE WITH LAKELAND SUBDIVISION STANDARDS; THE PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AND ALL SPECIAL FLOOD HAZARD AREAS ARE PROPERLY LOCATED AS PER THE LATEST FLOOD INSURANCE RATE MAP. ALL DIMENSIONS ARE EXPRESSED IN FEET AND DECIMALS. ALL BEARINGS, DISTANCES, AND FIELD INFORMATION ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

IN WITNESS WHEREOF, I THE SAID, GEAN PAUL BRAY, A LAND SURVEYOR, HEREUNTO SET OUT HAND AND AFFIX MY SEAL THIS _____ DAY OF _____, 2024

LAND SURVEYOR
STATE OF TENNESSEE CERTIFICATE NO.

CERTIFICATE OF OWNER(S) AND DEDICATION:

THE UNDERSIGNED, _____, HERE BY CERTIFY THAT HE IS THE CHIEF MANAGER OF EVERGREEN, LLC. AND THAT THE PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE ABOVE NAMED OWNERS, PROPRIETORS, DO HEREBY DEDICATE TO THE CITY OF LAKELAND AND ALL PUBLIC IMPROVEMENTS, EASEMENTS, OR LANDS HEREIN SPECIFICALLY IDENTIFIED FOR DEDICATION, FOR THE PURPOSES OF OPERATION, CONSTRUCTION AND MAINTENANCE OF THESE IMPROVEMENTS, AS NEEDED FOR THE PROPER DEVELOPMENT AND MAINTENANCE OF SAID SUBDIVISION.

EVERGREEN, LLC. _____ DATE _____

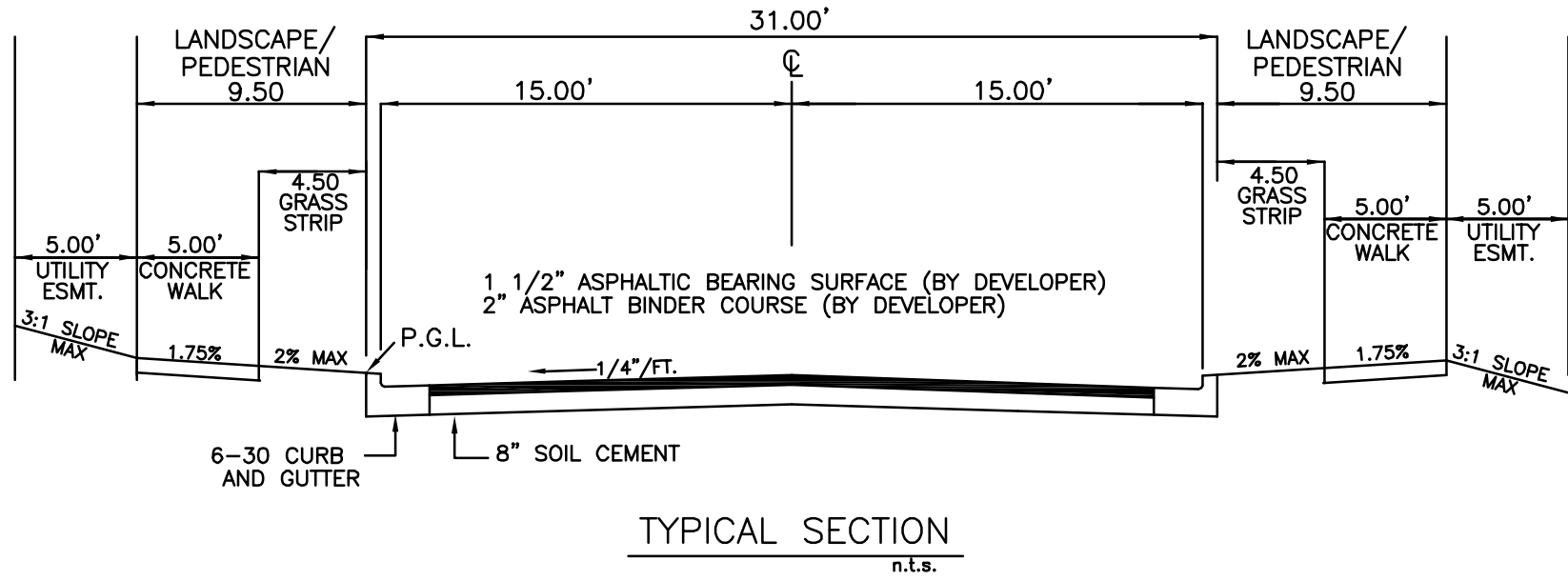
STATE OF TENNESSEE
COUNTY OF SHELBY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, IN AND FOR THE STATE AND COUNTY AFORESAID, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED _____ WITH WHOM I AM PERSONALLY ACQUAINTED AND WHO, UPON OATH, ACKNOWLEDGES HIMSELF TO BE CHIEF MANAGER OF EVERGREEN, LLC. AND HE AS SUCH OWNER, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY SIGNING HIS NAME AS OWNER.

WITNESS MY HAND AND NOTARIAL SEAL, THIS _____DAY OF _____, 2024.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC



CERTIFICATE OF MUNICIPAL PLANNING COMMISSION APPROVAL – SUBDIVISION

I, _____, DO HEREBY CERTIFY THAT THE CITY OF LAKELAND MUNICIPAL PLANNING COMMISSION HAS APPROVED THIS FINAL PLAT. THE SIGNING OF THIS CERTIFICATE SHALL IN NO WAY BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE OF THE DEDICATION OF ANY STREET, IMPROVEMENT, OR OTHER GROUND SHOWN UPON THE PLAT.

MPC SECRETARY _____ DATE _____

CERTIFICATE OF CITY ENGINEER

THE FINAL PLAT IS REVIEWED AND DEEMED COMPLIANT WITH THE LAND DEVELOPMENT REGULATIONS, SUBJECT TO ANY WAIVERS, MODIFICATIONS, OR VARIANCES THEREOF GRANTED BY THE CITY OF LAKELAND.

CITY ENGINEER _____ DATE _____

NOTE: PROTECTIVE COVENANTS AND HOA DOCUMENTS ARE RECORDED IN INSTRUMENT NUMBER _____.

SHEET 3 OF 3
PRELIMINARY DEVELOPMENT PLAN

PHASE TWO
EVERGREEN PLANNED DEVELOPMENT
LAKELAND, SHELBY COUNTY, TENNESSEE

EVERGREEN, LLC.
10971 CHAPEL HILL ROAD
LAKELAND, TN 38002
901-301-3990
OWNER/DEVELOPER

THE BRAY FIRM
2950 STAGE PLAZA NORTH
BARTLETT, TN 38134
901-383-8668
ENGINEER

ZONED: PLANNED DEVELOPMENT DATE: SEPTEMBER 2024 SCALE: 1"=100' LOTS: 32 ACRES: 12.629 ACRES



Rec'd
9.9.24

Application for Site Plan Approval

Case No. _____ Date of Application September 4, 2024

Name of Applicant Lakeland Commons, LLC (Vince Smith Jr.)

Address 355 Tara Lane, Memphis, TN 38111

Daytime Telephone Number (901) 489-5896 Fax Number _____

E-mail corybrady@gmail.com

Name of Property Owner Applicant

Address _____ Telephone Number _____

Name of Project Planning/Engineering Firm Integrated Land Solutions, PLLC

Name of Project Manager or Contact Person Cory Brady, PLA, AICP

Address 9967 Bentwood Creek Cv., Collierville, TN 38017

Telephone Number (901) 493-6996 Fax Number _____

E-mail corybrady@gmail.com

Name of Development Lakeland Commons PMUD Parcel ID# L0150 00569

Location of Development Area D, Lot 10 (PB 296 PG 16)

Acreage 7.54 Acres Zoning District(s) PMUD (AG) Multiple Phases? _____ Check if YES

Total Gross Building Area 21,515sf Floor Area Ratio (FAR) 0.065 No. of Parking Spaces 56

Amount of Open Space N/A Acres Open Space as Percent of Total Acreage N/A %

Have any variances been granted by the Board of Zoning Appeals? _____ If yes, provide description and date(s).

Approval requested (Check One): Preliminary ☐ Final ☒

Date of Preliminary Site Plan approval, if applicable _____


Applicants Signature

Sept. 4, 2024
Date

Property Owners Signature (if different from applicant)

Date

CITY OF LAKELAND
10001 Highway 70
Lakeland, TN 38002
Office: (901) 867-2716 Fax: (901) 867-2063
Email: Lwest@lakelandtn.org

www.lakelandtn.gov

PRE-APPLICATION CONFERENCE WITH CITY STAFF

At least thirty (30) days prior to filing any application for a Planned Development, the prospective applicant shall request a pre-application conference with the City.

SUBMITTAL AND MEETING TIMELINE

All applications must be submitted Thirty (30) days prior to the meeting of the Municipal Planning and Design Review Commission (MPDRC). The MPDRC meets on the second Thursday of every month unless otherwise posted. For the initial submittal, Three full size plan sets (24" x 36") as well as a digital copy of the application and accompanying plans are required. Additional plan sets may be required after subsequent staff review.

FEES

Municipal Planning Commission

<u>0 — five (5) acres</u>	\$500.00
<u>Six (6) — ten (10) acres</u>	\$750.00
<u>Over ten (10) acres</u>	\$1,000.00

Design Review Commission

<u>Less than one (1) acre</u>	\$200.00
<u>One (1) — two (2) acres</u>	\$300.00
<u>More than 2 acres</u>	\$400.00+\$20.00/ acre
<u>sign/fence</u>	\$100.00
<u>Appeal to DRC</u>	\$200 (Ord. 09-138)

INTEGRATED LAND SOLUTIONS, pllc
planning ▪ design ▪ landscape architecture

September 5, 2024

Paul Luker, AICP
Planning Director
City of Lakeland
10001 Highway 70
Lakeland, TN 38002

Re: Request for Site Plan Approval
Lakeland Commons Planned Mixed-Use Development (Lot 10, Area D)

Mr. Luker,

On behalf of the property owner and developer, I am requesting final site plan approval to permit the remaining 30 townhouses and associated parking previously approved for development within Lot 10, Area D of the Lakeland Commons PMUD as recorded in PB 296, PG 16 at the Shelby County Registers Office.

Enclosed are the preliminary site engineering plans, landscape plan, lighting plan, and building elevations for your review. The proposed townhouses are consistent in material composition and architectural form with those recently constructed in Lot 2, Area B.

If you have any questions, please do not hesitate to contact me at corybrady@gmail.com or (901) 493-6996. It is always my pleasure to work with the City of Lakeland staff and commissions and I look forward to working with you again.

Respectfully,



Cory Brady, PLA, AICP
Integrated Land Solutions, pllc

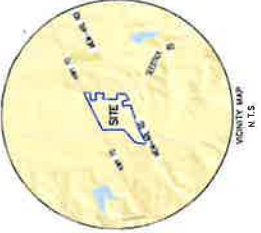
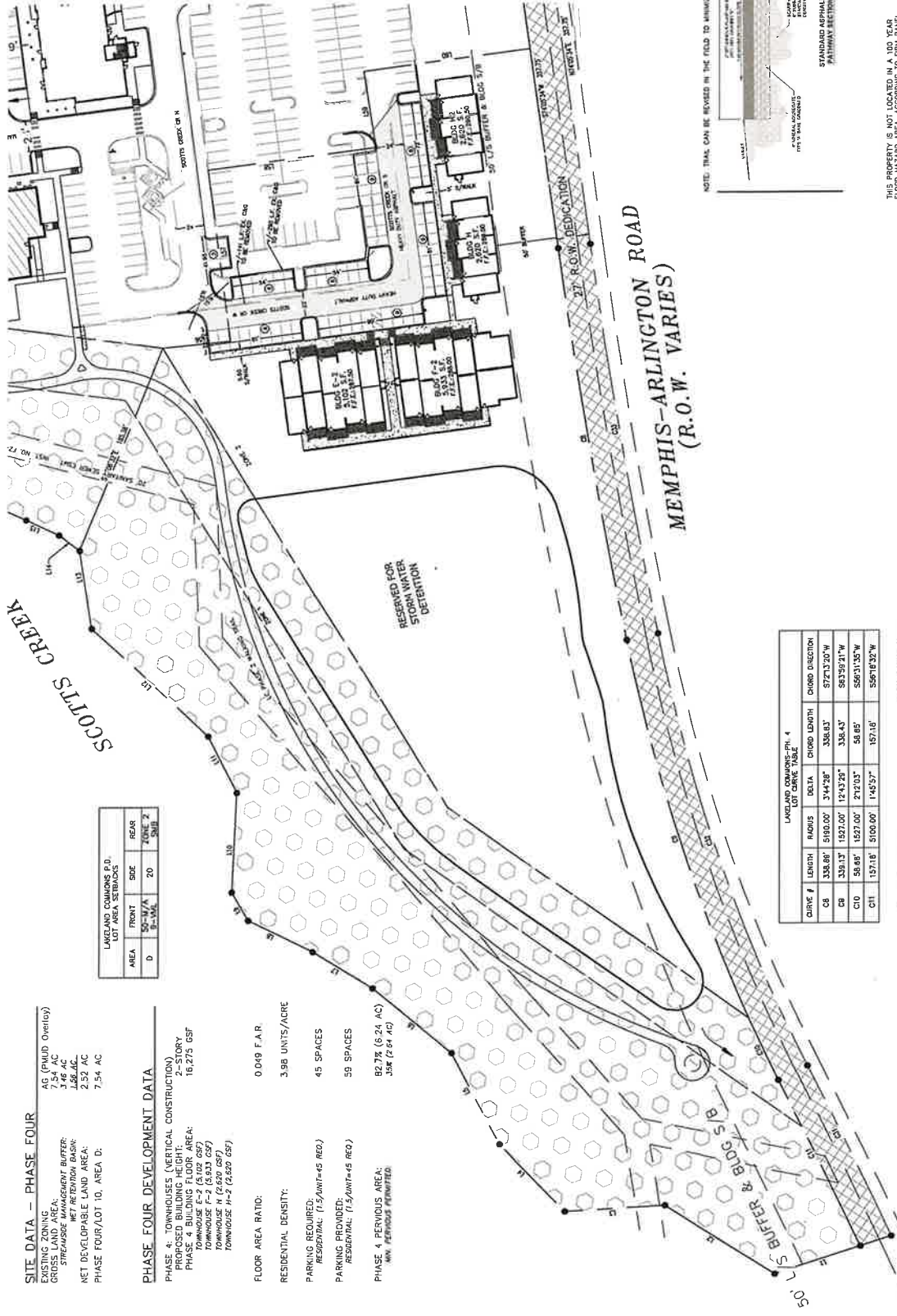
SITE DATA - PHASE FOUR
 EXISTING ZONING: AS (PLUID Overlay)
 GROSS LAND AREA: 7.54 AC
 STREAMSIDE MANAGEMENT BUFFER: 3.46 AC
 NET DEVELOPABLE LAND AREA: 1.58 AC
 PHASE FOUR/LOT 10, AREA D: 7.54 AC

PHASE FOUR DEVELOPMENT DATA

PHASE 4: TOWNHOUSES (VERTICAL CONSTRUCTION)
 PROPOSED BUILDING HEIGHT: 2-STORY
 PHASE 4: TOWNHOUSES (VERTICAL CONSTRUCTION)
 PHASE 4: TOWNHOUSES (VERTICAL CONSTRUCTION)
 TOWNHOUSE F-1 (5,102 GSF)
 TOWNHOUSE F-2 (5,102 GSF)
 TOWNHOUSE N (2,650 GSF)
 TOWNHOUSE PH-2 (2,650 GSF)

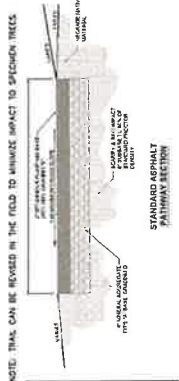
FLOOR AREA RATIO: 0.049 F.A.R.
 RESIDENTIAL DENSITY: 3.98 UNITS/ACRE
 PARKING REQUIRED: 45 SPACES
 PARKING PROVIDED: 59 SPACES
 PHASE 4 PERVIOUS AREA: 82.7% (5.24 AC)
 MIN. PERVIOUS PERMITTED: 35% (2.64 AC)

NOTE: THE AREA DESIGNATED AS "RESERVED FOR STORMWATER DETENTION" MAY NOT BE ALTERED WITHOUT FIRST OBTAINING THE WRITTEN CONSENT OF THE CITY OF MEMPHIS. THIS AREA SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. OPERATES IN ACCORDANCE WITH THE APPROVED CHANGE PLANS ON FILE IN THE CITY ENGINEER'S OFFICE. THE DESIGN INFORMATION PROVIDED IN THE DRAINAGE REPORT SHALL NOT BE LIMITED TO REMOVAL OF OBSTRUCTIONS, FILLING OBJECTS, TREES AND TRUNKS, MOWING, OUTLET CLEANING AND REPAIR OF DRAINAGE STRUCTURES. PRIOR TO APPROVAL OF THE FINAL PLAN, AN AS-BUILT SURVEY OF THE DETENTION POND SHALL BE SUBMITTED TO THE CITY ENGINEER. THE AS-BUILT SURVEY SHALL BE COMPLETED WITHIN 90 DAYS OF THE DATE OF THE DESIGN INFORMATION PROVIDED IN THE DRAINAGE REPORT. THE ENGINEER SHALL SUBMIT A LETTER AND SUPPORTING MATERIALS TO THE CITY ENGINEER, DOCUMENTING THE AS-BUILT FUNCTIONALITY OF THE DETENTION POND.



- CONCRETE SIDEWALK
- HEAVY DUTY ASPHALT
- STREETSIDE BUFFER MANAGEMENT AREA - 24' WIDE

LINE #	LENGTH	DIRECTION
L1	74.97'	N82°11'49"W
L2	111.04'	N24°00'16"E
L3	84.30'	N110°38'4"W
L4	79.45'	N30°15'18"E
L5	87.80'	N53°45'39"E
L6	89.60'	N31°45'37"E
L7	58.77'	N32°57'28"E
L8	80.92'	N18°02'28"E
L9	27.84'	N51°28'20"E
L10	84.86'	N84°37'08"E
L11	53.84'	N43°32'24"E
L12	134.45'	N35°11'40"E
L13	87.80'	N72°29'08"E
L14	27.18'	N28°11'39"W
L15	58.08'	S13°48'44"E
L16	146.70'	N74°31'10"E
L17	143.27'	S15°59'58"E
L18	65.47'	N73°04'24"E
L19	143.38'	S35°37'58"E



GRAPHIC SCALE
 1" = 100' HORIZONTAL
 1" = 10' VERTICAL

THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD HAZARD ZONE. DATE OF SURVEY: 4/15/2015. DATED: FEB. 6, 2015.

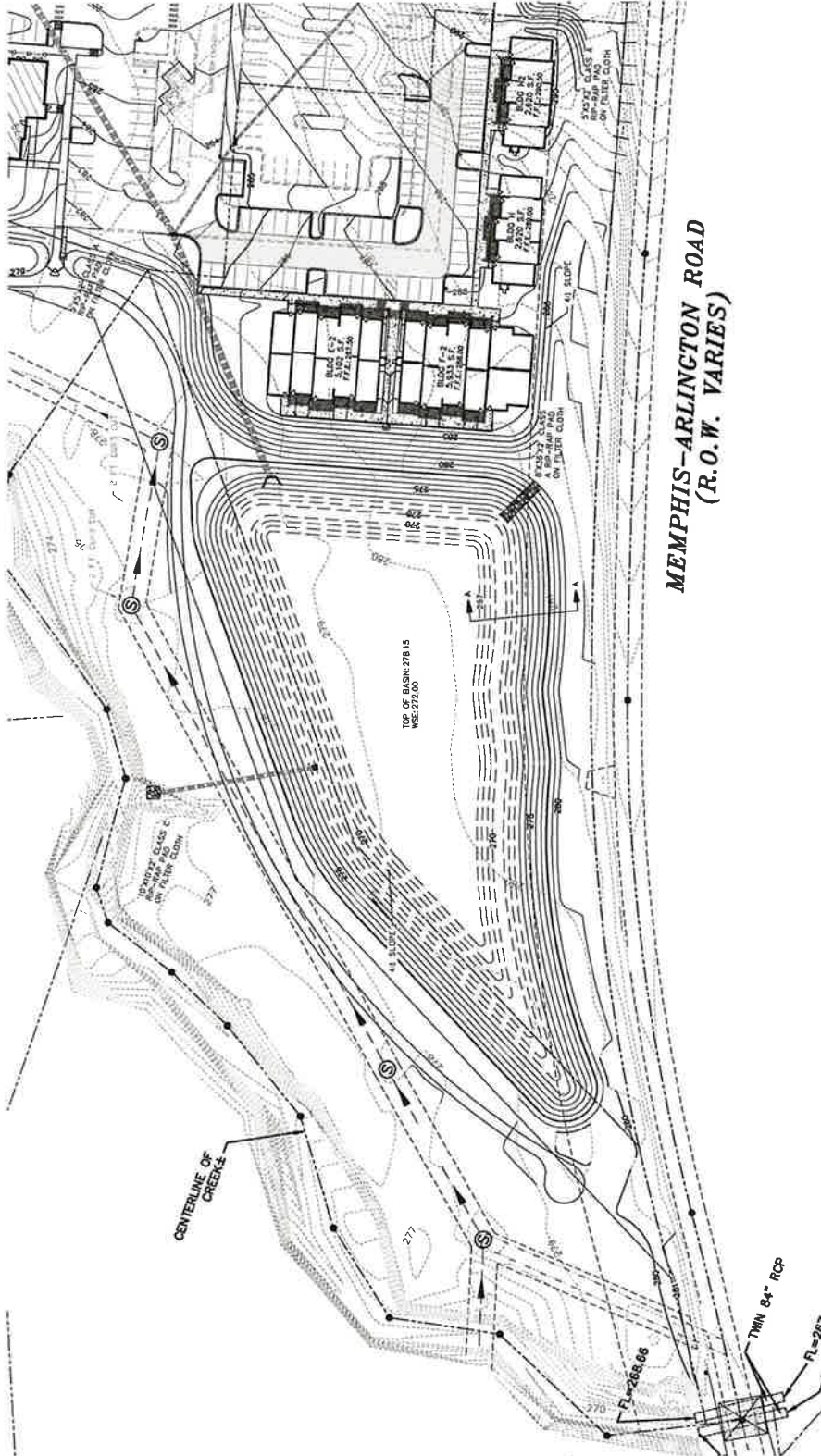
PH. 4 TOWNHOME SITE PLAN
 LAKELAND, TENNESSEE
 DEPARTMENT OF ENGINEERING
 LAKELAND COMMONS
 RENAISSANCE GROUP, INC.
 800 LAKELAND, TN 38007
 (901) 353-5353 (901) 353-5474

PHASE FOUR DEVELOPMENT DATA
 TYPICAL PAVEMENT DETAIL
 TYPICAL PAVEMENT DETAIL
 TYPICAL PAVEMENT DETAIL

THE AREAS SHOWN AS "RESERVED FOR FUTURE WATER DETENTION" MAY NOT BE ALTERED WITHOUT FIRST OBTAINING THE APPROVAL OF THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING. THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING SHALL MAINTAIN THE DETENTION POND LOCATED IN THIS AREA. THE DETENTION POND SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE IN ACCORDANCE WITH THE APPROVED DETENTION POND MAINTENANCE MANUAL. THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING SHALL MAINTAIN THE DETENTION POND LOCATED IN THIS AREA. THE DETENTION POND SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE IN ACCORDANCE WITH THE APPROVED DETENTION POND MAINTENANCE MANUAL. THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING SHALL MAINTAIN THE DETENTION POND LOCATED IN THIS AREA. THE DETENTION POND SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE IN ACCORDANCE WITH THE APPROVED DETENTION POND MAINTENANCE MANUAL.

ALL TREE PROTECTION SHALL BE INSTALLED BY THE DEVELOPER AND APPROVED BY THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING. THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING SHALL MAINTAIN THE DETENTION POND LOCATED IN THIS AREA. THE DETENTION POND SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE IN ACCORDANCE WITH THE APPROVED DETENTION POND MAINTENANCE MANUAL. THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING SHALL MAINTAIN THE DETENTION POND LOCATED IN THIS AREA. THE DETENTION POND SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE IN ACCORDANCE WITH THE APPROVED DETENTION POND MAINTENANCE MANUAL.

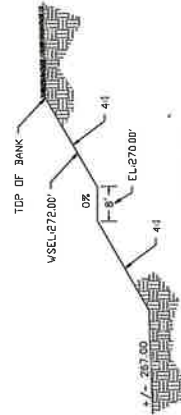
NOTE: ALL BACKFILL MATERIAL COVERING STORM SEWER PIPING SHALL BE PLACED IN 12" LAYERS. THE BACKFILL SHALL BE COMPACTED TO THE SAME DENSITY AS IN STREET RIGHTS OF WAY. SEE DETAIL SHEET.



MEMPHIS-ARLINGTON ROAD (R.O.W. VARIES)

GRAPHIC SCALE

1 inch = 40 ft.



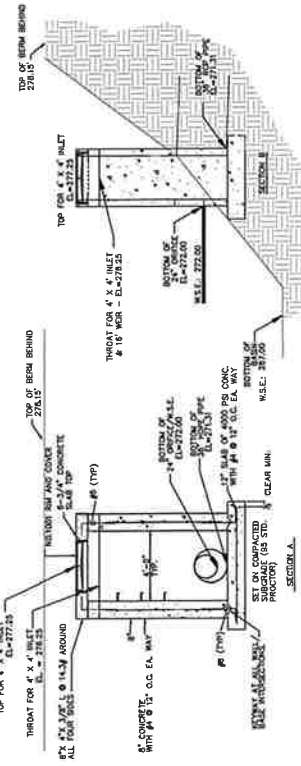
TOP OF BANK

VSEL 272.00'

0%

EL 270.00'

SECTION A-A



TOP OF BANK

VSEL 272.00'

0%

EL 270.00'

SECTION A-A



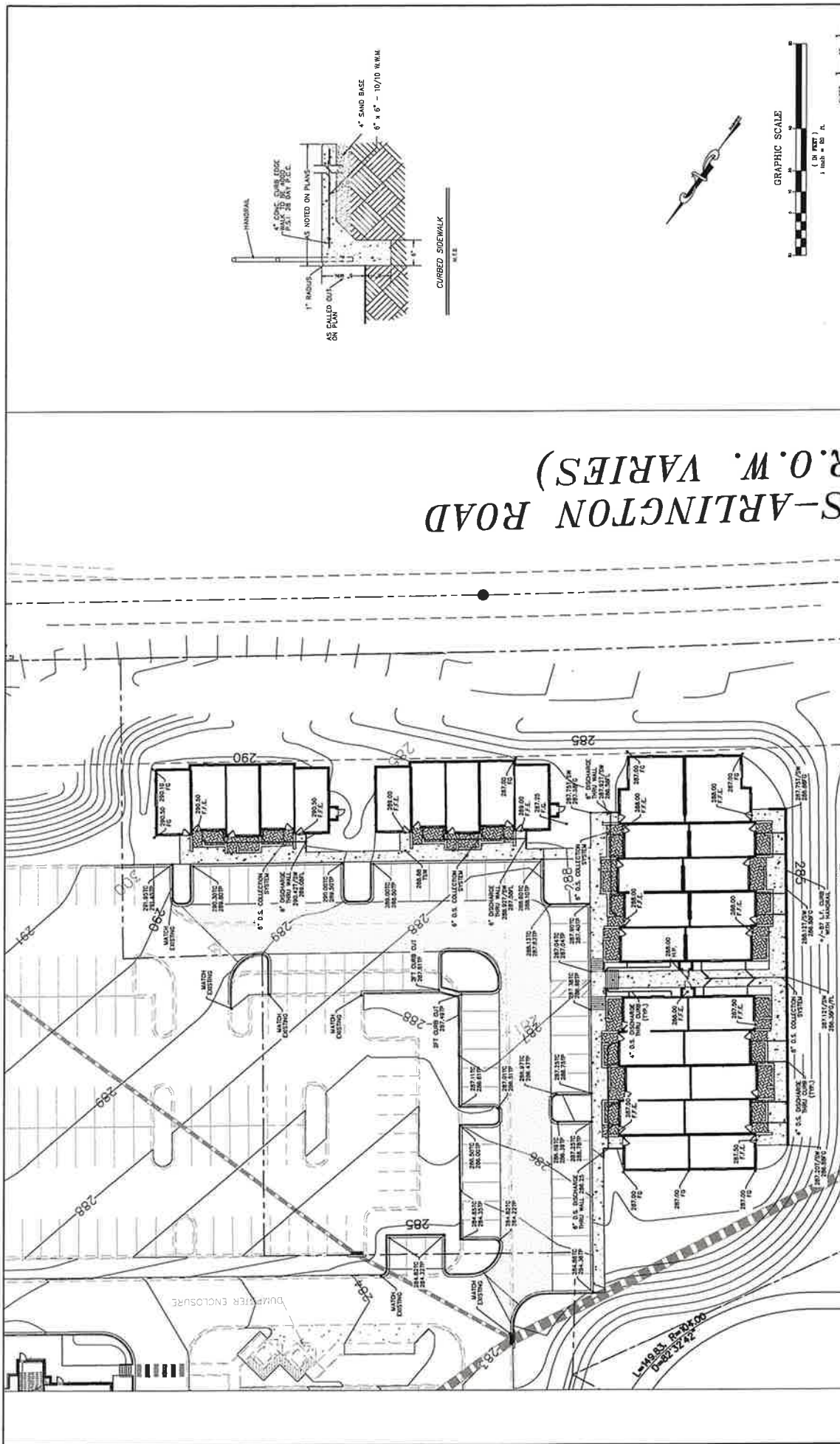
DEPARTMENT OF ENGINEERING
LAKELAND, TENNESSEE
PROJECT NO. _____
DATE: _____
SCALE: 1"=40'
REVISION: _____

GRADING AND DRAINAGE PLAN - SW QUAD
LAKELAND, TENNESSEE
PROJECT NO. _____
DATE: _____
SCALE: 1"=40'
REVISION: _____

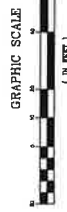
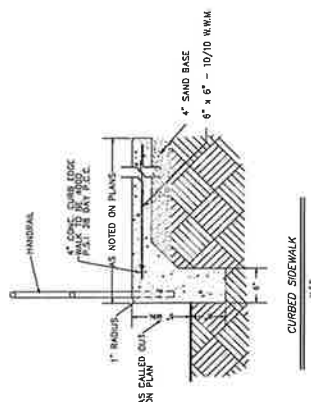
BASIN #1 O.C.S. #44
MOD. 4X4 PRECAST STRUCTURE

N.T.S.

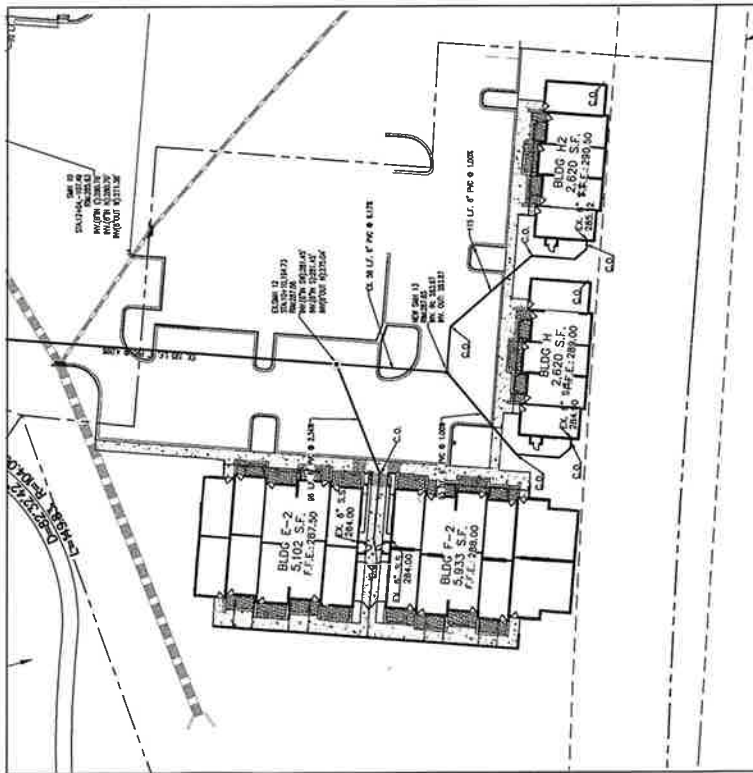
SECTION A-A



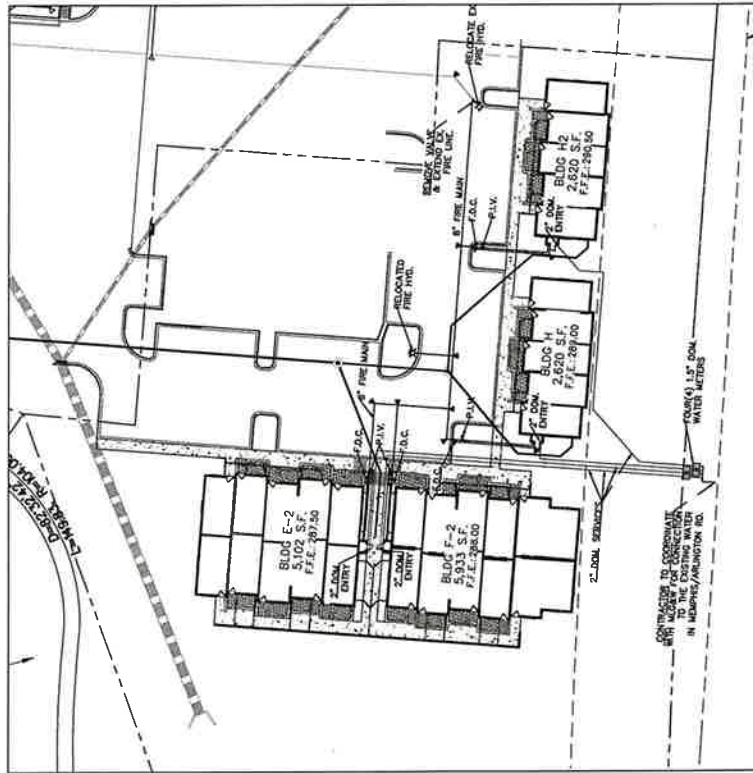
S-ARLINGTON ROAD
(R.O.W. VARIES)



TOWN HOME SPOT GRADES LAKELAND, TENNESSEE	
FROM: _____ TO: _____ DATE: _____ REVISION: _____ SCALE: _____	SHEET 1 OF 1
LAKELAND COMMONS PHASE 1 DEVELOPER: LAKELAND COMMONS LLC RENAISSANCE GROUP, INC. 1000 LAKELAND AVENUE, SUITE 100 LAKELAND, TN 37066 (615) 251-5555 FAX (615) 251-5554 FAX	
PROJECT NO. 190588	



SANITARY SEWER



WATER PLAN

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE CITY OF LAKELAND (887-2777) PRIOR TO COMMENCING CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANIES, WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES SHOWN ON THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SHOWN ON THE PROJECT.
3. ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEED, FERTILIZED, MULCHED, AND/OR SOODED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
4. ALL CONSTRUCTION SHALL MEET THE CITY OF LAKELAND STANDARD SPECIFICATIONS.
5. THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE CITY ENGINEER AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
6. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES OF MOBILE LIGHT, GAS AND WATER DIVISION, SOUTH CENTRAL BELL AND THE TEXAS GAS TRANSMISSION CORPORATION. CALL 1-800-351-1111 FOR THE LOCATION OF UNDERGROUND UTILITIES.
7. SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL 1-800-351-1111 FOR THE LOCATION OF UNDERGROUND UTILITIES.
8. THE CONTRACTOR SHALL NOT ENTER UPON NOR CAUSE ANY DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS.
9. ALL FILL LIFTS SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE STANDARD PROCTOR DENSITY (ASTM D-698) WITH SUITABLE FILL MATERIAL.
10. 4000 PSI CONCRETE IS REQUIRED FOR CURB AND OUTER AND SIDEWALKS.
11. ALL SEWER MANHOLE COVERS SHALL BE PROVIDED WITH PLUGS UPSTREAM AND DOWNSTREAM OF CONNECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BYPASS PUMPING.
12. THE TO EXISTING SEWER SHALL BE PROVIDED WITH PLUGS UPSTREAM AND DOWNSTREAM OF CONNECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BYPASS PUMPING.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BYPASS PUMPING.
14. ALL WATER LINES SHALL HAVE A MINIMUM 3 FEET OF CLEARANCE FROM PROPOSED GRADE TO TOP OF WATER LINE.

SPECIAL NOTE:

THE CONTRACTOR SHALL INSTALL TRADING WIRE WITH ALL SANITARY SEWER MAINS AND SERVICES PER THE CITY OF LAKELAND STANDARD SPECIFICATIONS.

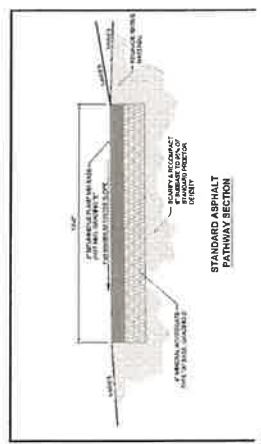
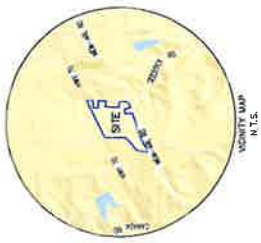
NOTE: FITTINGS THROUGH CURVES ARE NOT SHOWN. CONTRACTOR TO FIELD FABRICATE CONNECTIONS AS NEEDED.

WATER LEGEND:	
	FIRE HYDRANT
	WATER VALVE
	THRUST BLOCK

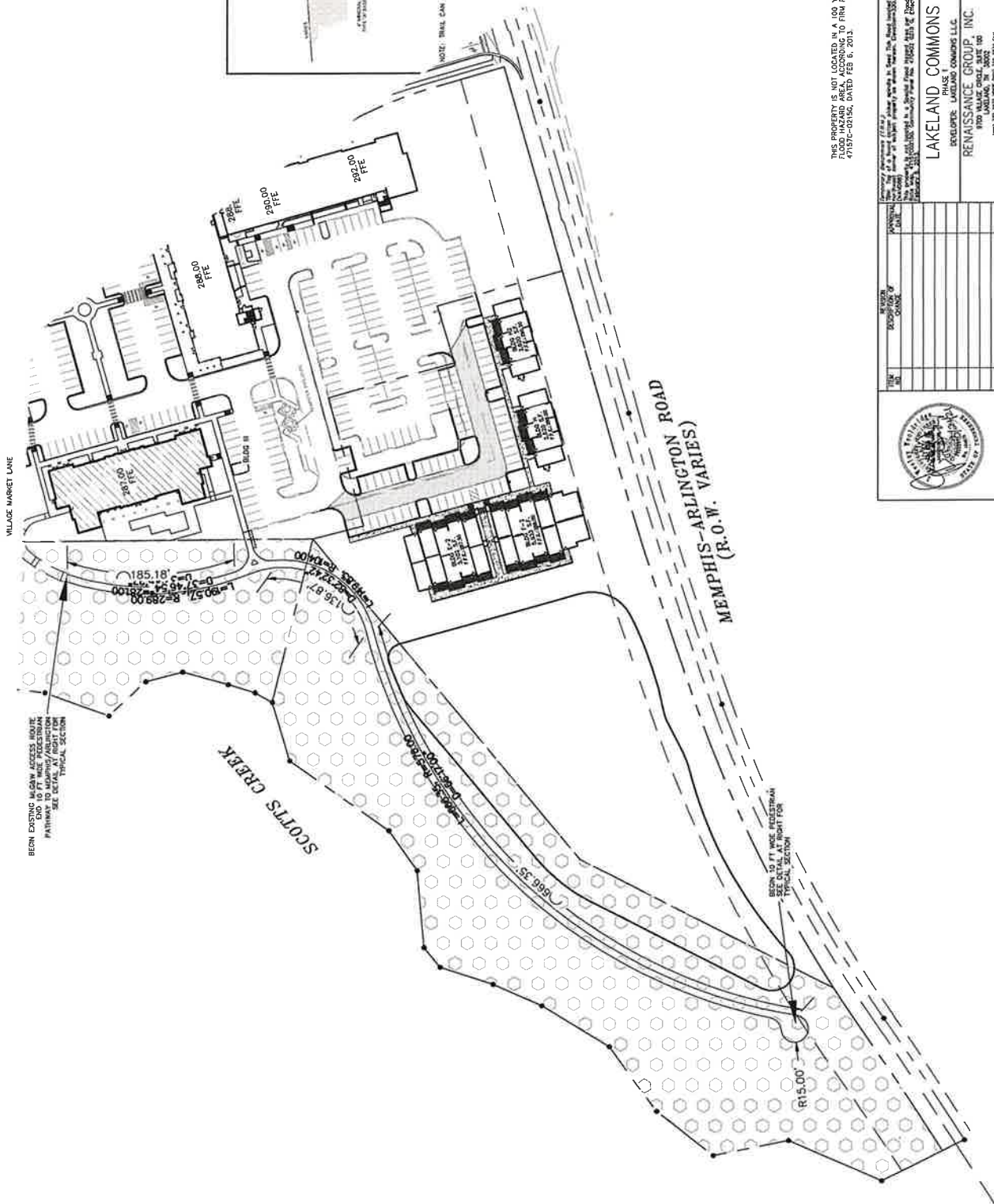
GRAPHIC SCALE



TOWNHOMES UTILITY PLAN LAKELAND, TENNESSEE	
DATE: _____	SCALE: 1"=30'
SHEET _____ OF _____	
DESIGNED BY: _____	
CHECKED BY: _____	
DRAWN BY: _____	
PROJECT NO.: _____	
CLIENT: _____	
PREPARED BY: _____	
APPROVED BY: _____	
DATE: _____	
SCALE: _____	
SHEET _____ OF _____	



NOTE: THIS CAN BE REVISED IN THE FIELD TO MINIMIZE IMPACT TO EXISTING TREES.

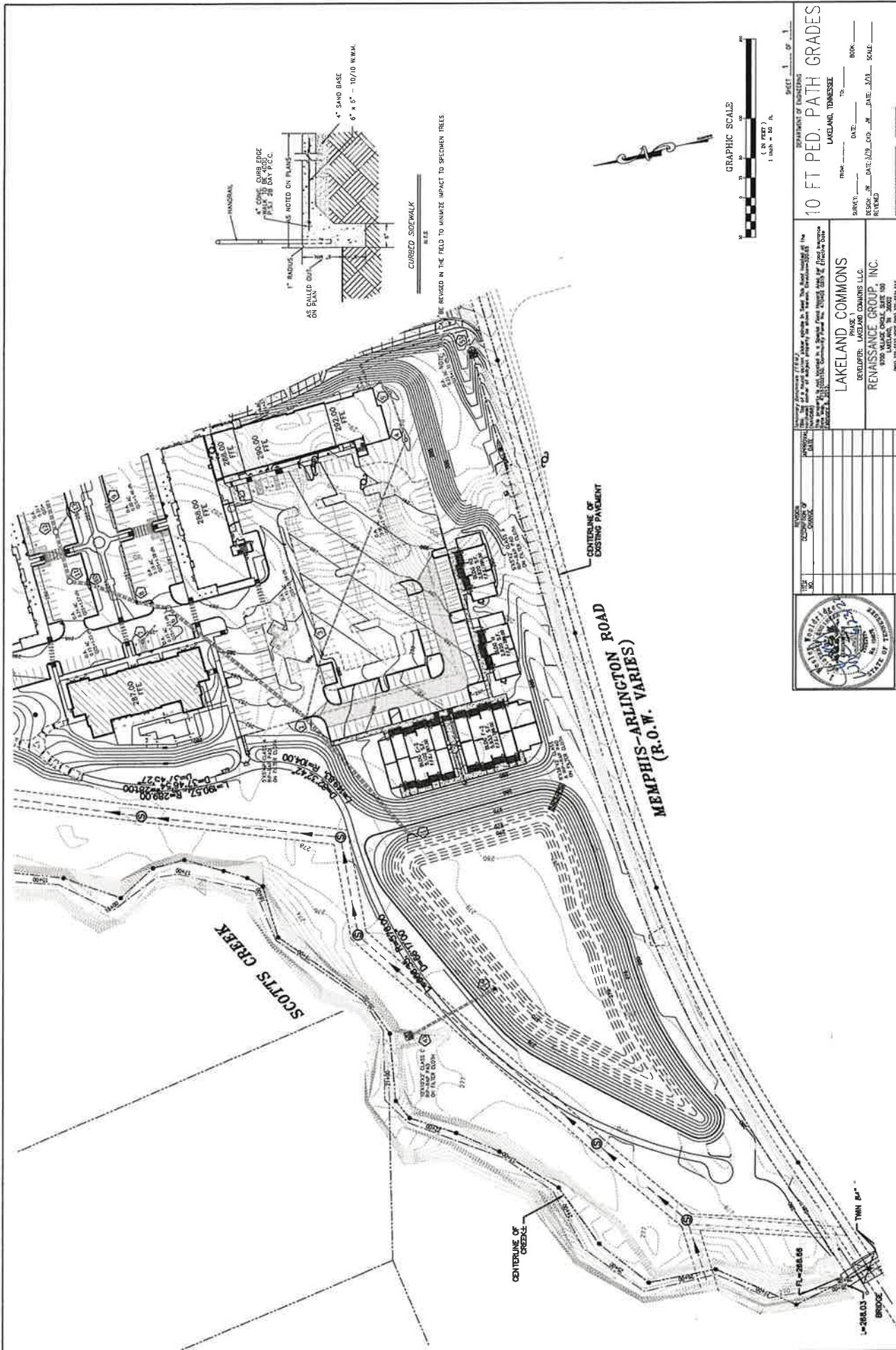


GRAPHIC SCALE

THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD HAZARD AREA, ACCORDING TO FIRM PANEL 47157C-DATUM, DATED FEB 9, 2011.



DEPARTMENT OF ENGINEERING	
10 FT PEDESTRIAN PATH TO MEMPHIS/ARL. ROAD	
LAKELAND, TENNESSEE	
SURVEY FROM	TO
DATE	BOOK
DESIGN BY	DATE
DATE	SCALE
SHEET NO. 1 OF 1	



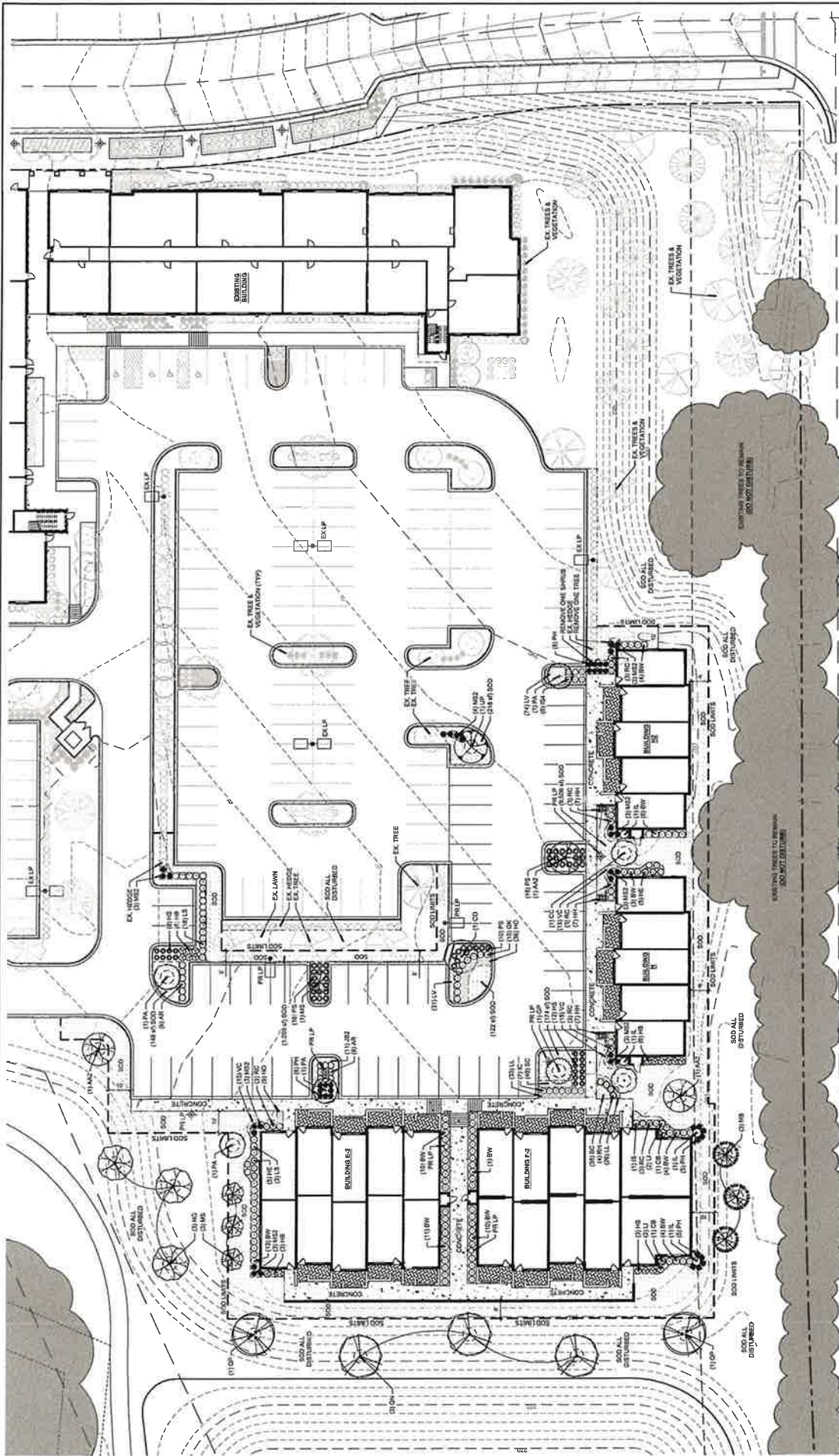
THESE PLANS HAVE BEEN PREPARED BY THE ENGINEER OR ARCHITECT AND TO THE BEST OF HIS KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL THE REQUIREMENTS OF THE TENSEN BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS.

LAKELAND COMMONS
 PHASE 1
 DEVELOPER: LAKELAND COMMONS LLC
 RENAISSANCE GROUP, INC.
 1000 LAKELAND BLVD., SUITE 100
 LAKELAND, TN 38001
 (601) 335-5555 (FAX) 335-5554 FAX

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	10/1/00	J. W. WATKINS	J. W. WATKINS
2	FOR CONSTRUCTION	10/1/00	J. W. WATKINS	J. W. WATKINS
3	FOR RECORD	10/1/00	J. W. WATKINS	J. W. WATKINS
4	FOR RECORD	10/1/00	J. W. WATKINS	J. W. WATKINS
5	FOR RECORD	10/1/00	J. W. WATKINS	J. W. WATKINS
6	FOR RECORD	10/1/00	J. W. WATKINS	J. W. WATKINS
7	FOR RECORD	10/1/00	J. W. WATKINS	J. W. WATKINS
8	FOR RECORD	10/1/00	J. W. WATKINS	J. W. WATKINS
9	FOR RECORD	10/1/00	J. W. WATKINS	J. W. WATKINS
10	FOR RECORD	10/1/00	J. W. WATKINS	J. W. WATKINS

DEPARTMENT OF ENGINEERING
 LAKELAND, TENNESSEE
 10 FT PED. PATH GRADES
 SURVEY: FROM _____ TO _____ BOOK _____
 DATE: 10/1/00 DATE: 10/1/00 SCALE: _____
 DESIGNED: J. W. WATKINS
 CHECKED: J. W. WATKINS
 TITLE: 10 FT PED. PATH GRADES

PG: JOB NO. 18028



DRAFT

LANDSCAPE PLAN

DESIGNED BY: ILS
DATE: 06-20-16
CHECKED BY: ILS
DATE: 06-20-16

SURVEY: ILS
DATE: 06-20-16
CHECKED BY: ILS
DATE: 06-20-16

SCALE: 1" = 20'

PRELIMINARY
NOT FOR CONSTRUCTION

LANDSCAPE PLAN

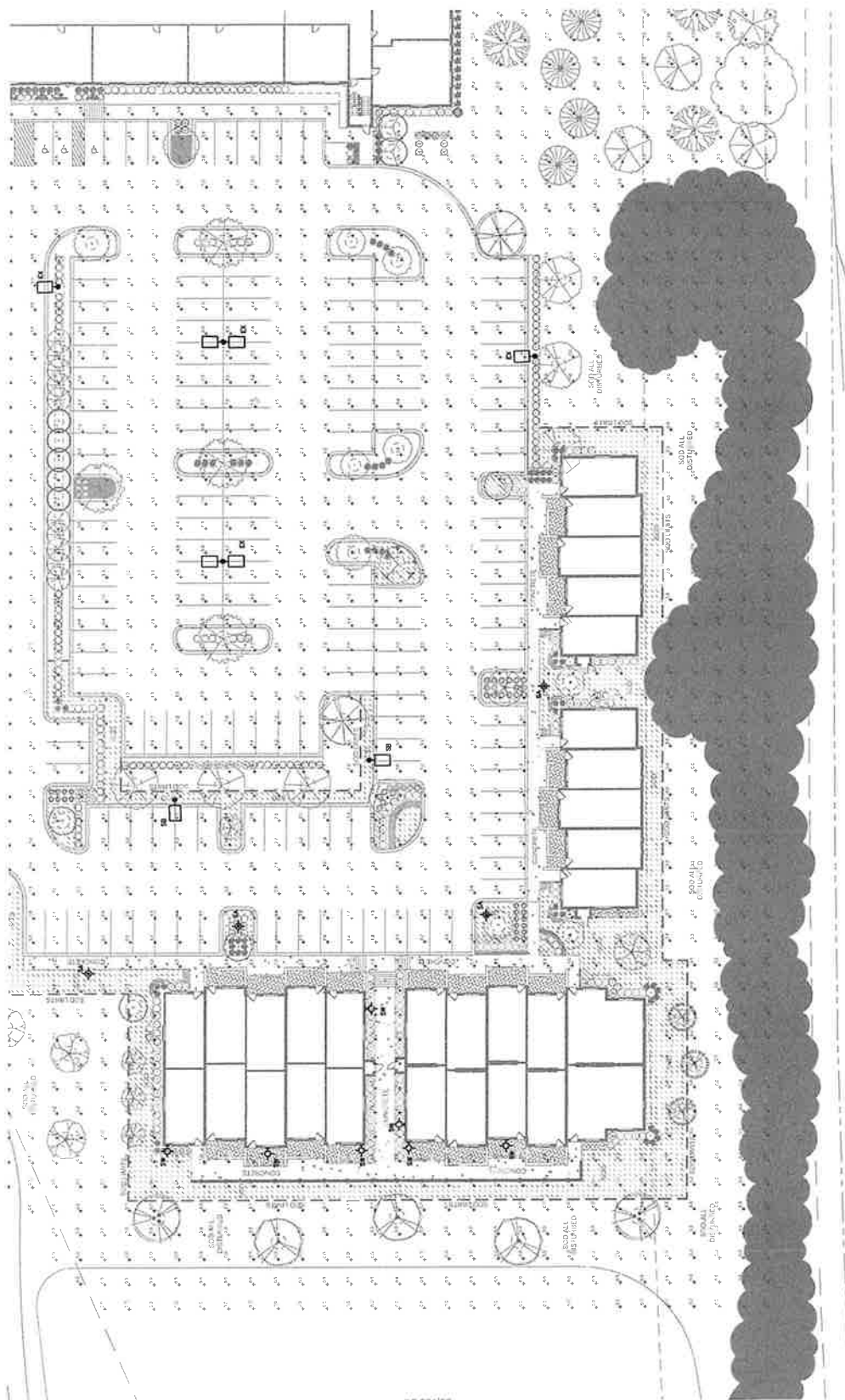
AREA D, LOT 10

LAKELAND COMMONS, PD

LAKELAND COMMONS, LLC 385 TARA LANE MEMPHIS, TN 38111

ILS

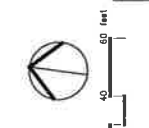
SCALE: 1" = 20'



SITE PHOTOMETRIC PLAN
SCALE 1" = 20'-0"

NAME	DESCRIPTION	MANUFACTURER	MODEL	WATTAGE	QUANTITY	WATTAGE	WATTAGE	WATTAGE	WATTAGE
SA	LED AREA LIGHT	OSRAM	LED	150W	4	600	600	600	600
SW	LED WALL LIGHT	OSRAM	LED	30W	2	120	120	120	120
SP	LED WALL LIGHT	OSRAM	LED	30W	7	210	210	210	210

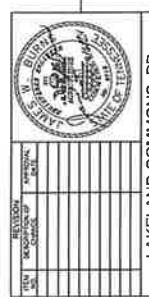
AREA	TYPE	WATTAGE	WATTAGE	WATTAGE	WATTAGE
OVERALL	1.0 FC	6.8 FC	6.8 FC	6.8 FC	6.8 FC
PARKING	2.2 FC	6.3 FC	6.3 FC	6.3 FC	6.3 FC



SCALE 1" = 20'



STEVEN E. WILLIAMS
PROFESSIONAL ENGINEER
STATE OF TENNESSEE
LICENSE NO. 34027



LAKELAND COMMONS, PD
LOT 10, AREA A
LAKELAND TOWN CENTER, LLC 355 PARK LANE MEMPHIS, TN 38117

PHOTOMETRIC PLAN

DATE 03-20-18
DATE 03-20-18
DATE 03-20-18
DATE 03-20-18

[illegible][illegible][illegible]

Outstanding Information

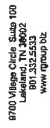
EXAMPLE: NEW LEAD-IN AND IN-SERVICE INSPECTION

TABLE 1

Item	Code	Notes	Inspector	Inspector	Inspector
1. 100% inspection	100	100	100	100	100
2. 100% inspection	100	100	100	100	100
3. 100% inspection	100	100	100	100	100
4. 100% inspection	100	100	100	100	100
5. 100% inspection	100	100	100	100	100
6. 100% inspection	100	100	100	100	100
7. 100% inspection	100	100	100	100	100
8. 100% inspection	100	100	100	100	100
9. 100% inspection	100	100	100	100	100
10. 100% inspection	100	100	100	100	100
11. 100% inspection	100	100	100	100	100
12. 100% inspection	100	100	100	100	100
13. 100% inspection	100	100	100	100	100
14. 100% inspection	100	100	100	100	100
15. 100% inspection	100	100	100	100	100
16. 100% inspection	100	100	100	100	100
17. 100% inspection	100	100	100	100	100
18. 100% inspection	100	100	100	100	100
19. 100% inspection	100	100	100	100	100
20. 100% inspection	100	100	100	100	100
21. 100% inspection	100	100	100	100	100
22. 100% inspection	100	100	100	100	100
23. 100% inspection	100	100	100	100	100
24. 100% inspection	100	100	100	100	100
25. 100% inspection	100	100	100	100	100
26. 100% inspection	100	100	100	100	100
27. 100% inspection	100	100	100	100	100
28. 100% inspection	100	100	100	100	100
29. 100% inspection	100	100	100	100	100
30. 100% inspection	100	100	100	100	100
31. 100% inspection	100	100	100	100	100
32. 100% inspection	100	100	100	100	100
33. 100% inspection	100	100	100	100	100
34. 100% inspection	100	100	100	100	100
35. 100% inspection	100	100	100	100	100
36. 100% inspection	100	100	100	100	100
37. 100% inspection	100	100	100	100	100
38. 100% inspection	100	100	100	100	100
39. 100% inspection	100	100	100	100	100
40. 100% inspection	100	100	100	100	100
41. 100% inspection	100	100	100	100	100
42. 100% inspection	100	100	100	100	100
43. 100% inspection	100	100	100	100	100
44. 100% inspection	100	100	100	100	100
45. 100% inspection	100	100	100	100	100
46. 100% inspection	100	100	100	100	100
47. 100% inspection	100	100	100	100	100
48. 100% inspection	100	100	100	100	100
49. 100% inspection	100	100	100	100	100
50. 100% inspection	100	100	100	100	100
51. 100% inspection	100	100	100	100	100
52. 100% inspection	100	100	100	100	100
53. 100% inspection	100	100	100	100	100
54. 100% inspection	100	100	100	100	100
55. 100% inspection	100	100	100	100	100
56. 100% inspection	100	100	100	100	100
57. 100% inspection	100	100	100	100	100
58. 100% inspection	100	100	100	100	100
59. 100% inspection	100	100	100	100	100
60. 100% inspection	100	100	100	100	100
61. 100% inspection	100	100	100	100	100
62. 100% inspection	100	100	100	100	100
63. 100% inspection	100	100	100	100	100
64. 100% inspection	100	100	100	100	100
65.					



BURNS ENGINEERING
3155 WATSON LANE
ARLINGTON, TEXAS 76010
(817) 373-1442



**THIS SHEET MUST BE
PRINTED IN COLOR**



FOR ELEVATIONS LEGEND BUILDINGS E & F

BRICK VENEER:

 MANUF: TRIPLE A
COLOR: GOLF JEFFERSON
FINISH: Light oil

PAINT COLORS:

 MANUF: HUBBARD
PAINT: 2-BERTL PEARL 6008
FINISH: CEMENT LAP (SINO) + EXPOSURE

 MANUF: HUBBARD
PAINT: 2-BERTL PEARL 6008
FINISH: BOUND PANEL

CANOPY:

 MANUF: PAC CLAD
COLOR: 1000
FINISH: STAINLESS STEEL CANOPY

THIS SHEET MUST BE
PRINTED IN COLOR

WEST ELEVATION-BUILDING H
3/16" = 1'-0"

EAST ELEVATION - BUILDING H

**CONSTRUCTION DOCUMENTS FOR
LAKELAND COMMONS
PHASE 2 - BLDG H & H.2**
Lakeland, TN 38002

Source: The
National Bureau of Economic Research

Page No.

Index

A3.2



Renaissance
Group

9700 Village Circle, Suite 100
Lakeland, TN 38002
www.rrgroup.biz

CONSTRUCTION DOCUMENTS FOR
LAKELAND COMMONS
PHASE 2 - BLDG E & F.2
Lakeland, TN 38002

A3.1

DATE: 03/20/2023
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
SCALE: AS SHOWN

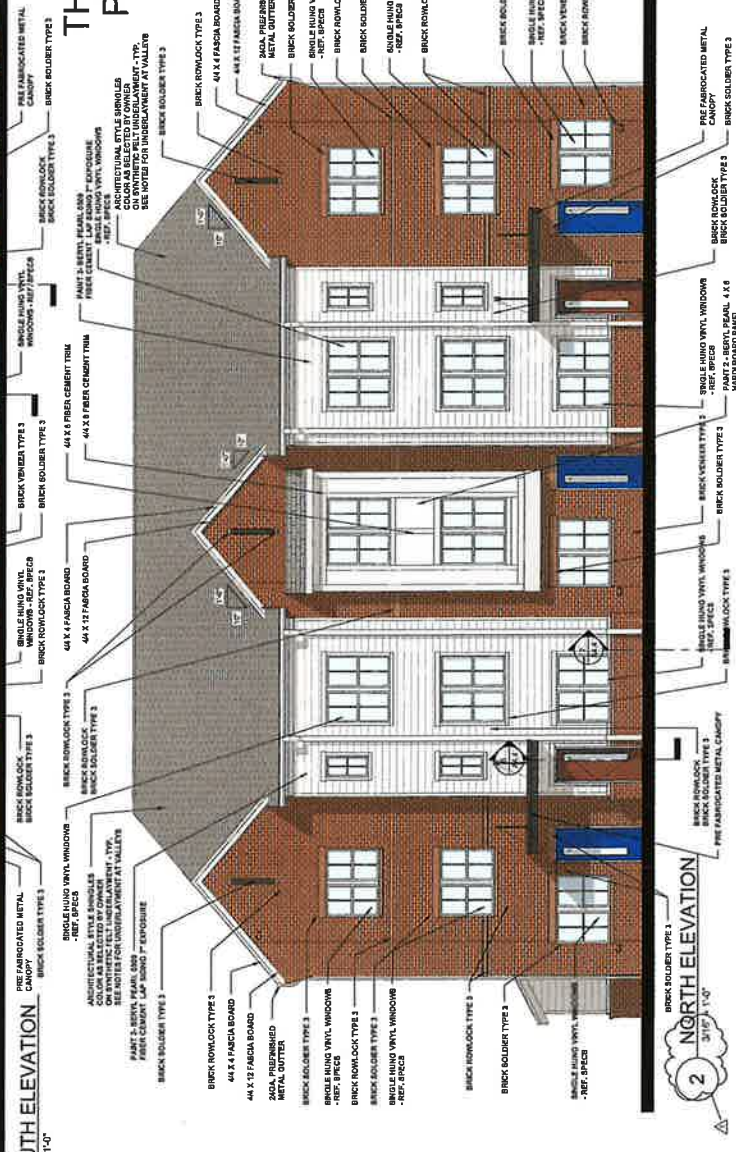
EXTERIOR ELEVATIONS - LEGEND
BUILDINGS E & F

- BRICK VENEER:**
- BRICK TYPE 1: BRICK, COMMON, 8" x 8" x 16" (HORIZONTAL)
 - BRICK TYPE 2: BRICK, COMMON, 8" x 8" x 16" (VERTICAL)
 - BRICK TYPE 3: BRICK, COMMON, 8" x 8" x 16" (RANDOM)
- PAINT COLOR:**
- MANUF. HIBERNIA: MANUF. HIBERNIA, 100% WHITE, 100% WHITE, 100% WHITE
 - MANUF. HIBERNIA: MANUF. HIBERNIA, 100% WHITE, 100% WHITE, 100% WHITE
 - MANUF. HIBERNIA: MANUF. HIBERNIA, 100% WHITE, 100% WHITE, 100% WHITE
- CANOPY:**
- MANUF. PAC CLAD: MANUF. PAC CLAD, 100% WHITE, 100% WHITE, 100% WHITE
 - MANUF. PAC CLAD: MANUF. PAC CLAD, 100% WHITE, 100% WHITE, 100% WHITE
 - MANUF. PAC CLAD: MANUF. PAC CLAD, 100% WHITE, 100% WHITE, 100% WHITE
- NOTE:**
- ALL ELEVATIONS ARE 1/4" = 1'-0"
 - ICE AND WATER SHIELD UNDERLAYMENT AT ALL VALLEYS AND BAY WINDOWS
 - FELT UNDERLAYMENT AT REMAINING AREAS OF ROOF



1 SOUTH ELEVATION
3/16" = 1'-0"

THIS SHEET MUST BE
PRINTED IN COLOR



2 NORTH ELEVATION
3/16" = 1'-0"

EXTERIOR ELEVATIONS E & F

	BRICK TYPE 3 PAINT 2-BENTL PEARL 009 COLOR: OLD JEFFERSON MORTAR: ASH GROVE PRO GREY
	PAINT COLOR
	METAL COLOR: BROWN FINISH: BRUSHED
	CANOPY COLOR: BROWN FINISH: BRUSHED
	FIBER CEMENT COLOR: BROWN FINISH: BRUSHED
	ALUMINUM COLOR: BROWN FINISH: BRUSHED
	HARD BOARD COLOR: BROWN FINISH: BRUSHED

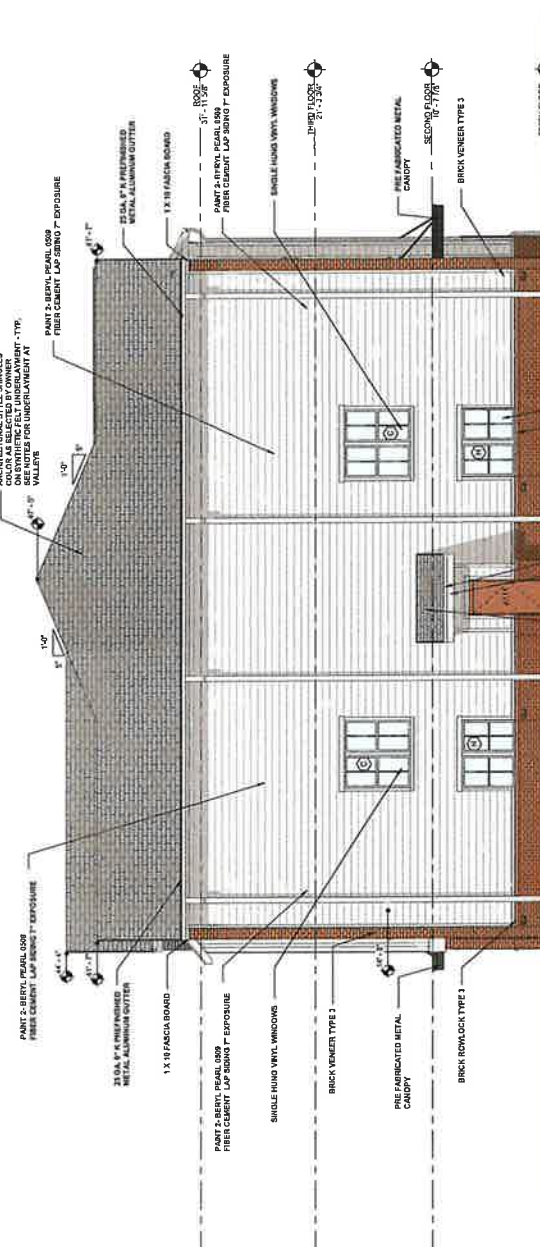
NOTE:
ALL MATERIALS ARE TO BE
INSTALLED IN ACCORDANCE WITH
ICE AND WIND BUILT UPGRADE AT ALL
VALLEYS AND BAY WINDOWS
FILL UNDERLAYMENT AT REMAINING AREA OF ROOF

THIS SHEET MUST BE
PRINTED IN COLOR

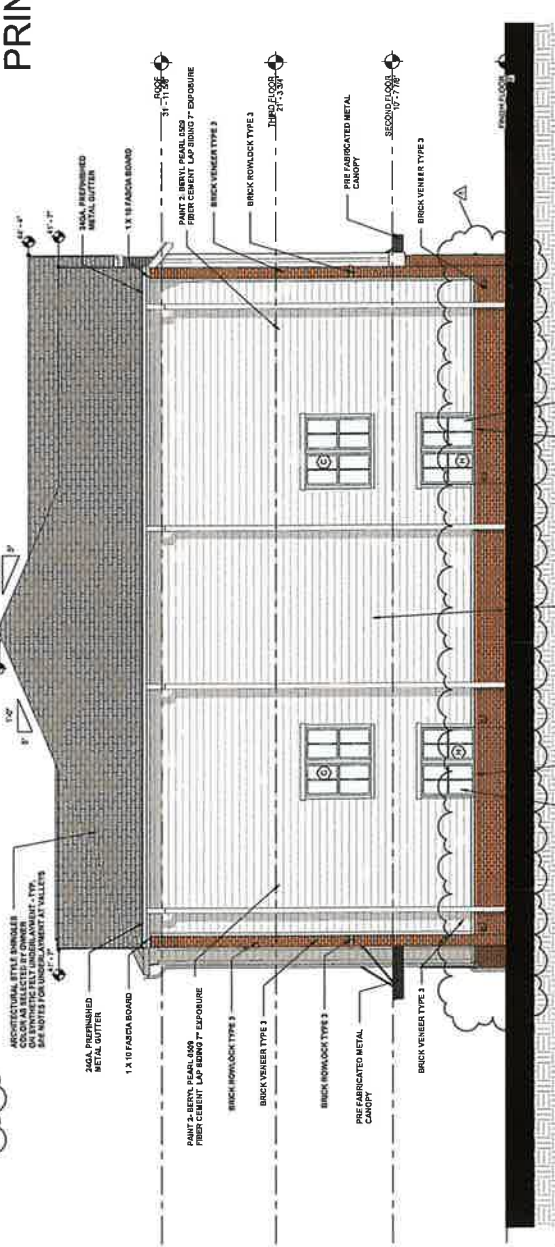
CONSTRUCTION DOCUMENTS FOR LAKELAND COMMONS PHASE 2 - BLDG E & F.2 Lakeland, TN 38002

A3.2

DATE: 05/20/2016
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]



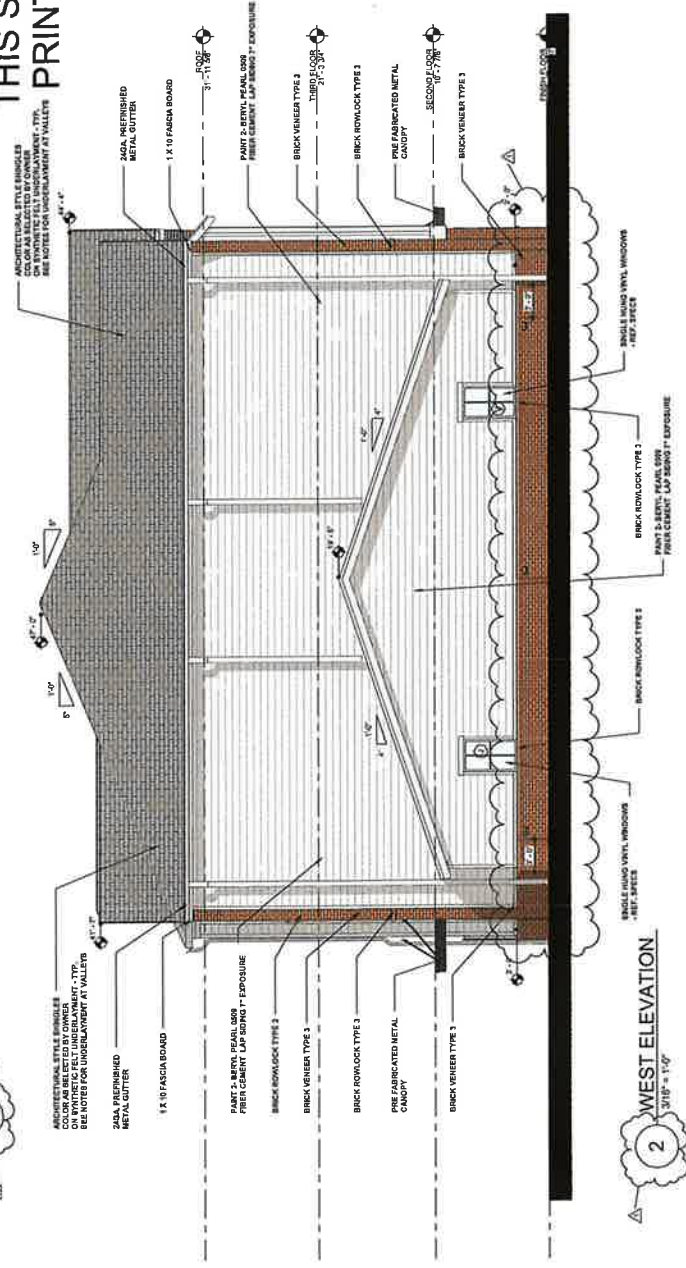
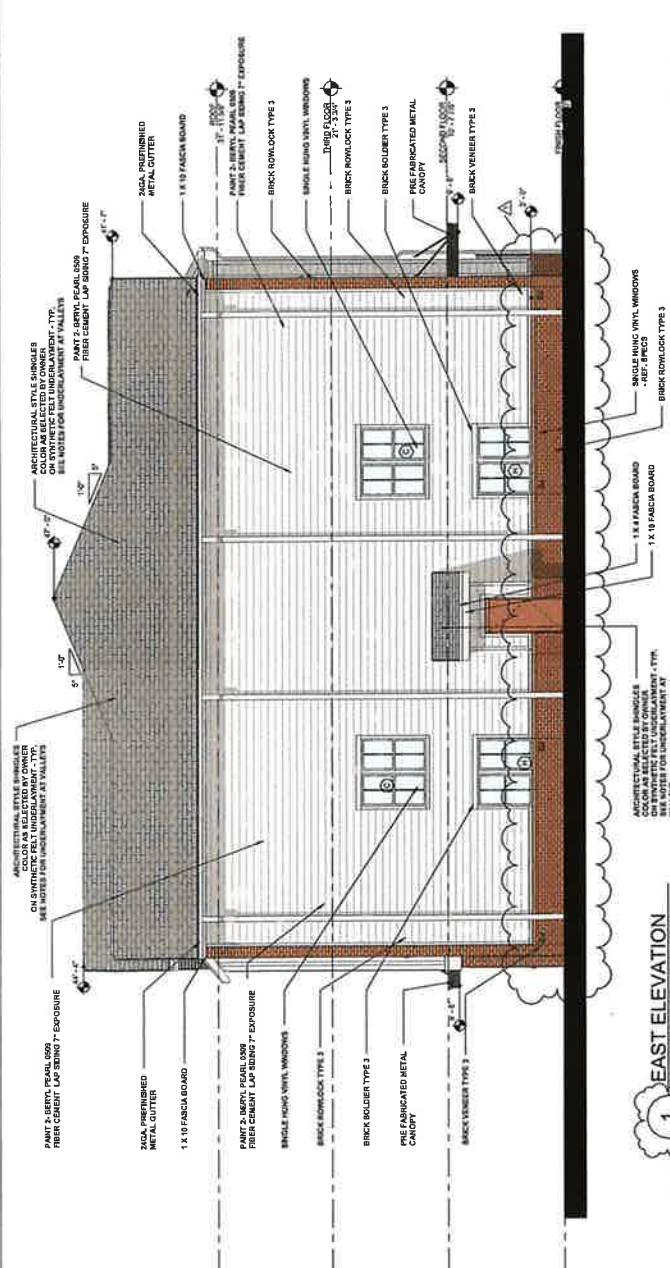
1 EAST ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"

EXTERIOR ELEVATIONS: LEND BUILDINGS E & F

THIS SHEET MUST BE
PRINTED IN COLOR





Municipal Planning and Design Review Commission

Meeting Date: Thursday, October 10, 2024

Project: Lakeland Commons Planned Development - Area D, Lot 10 -
Site Plan Application

Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Location: Area D Lot 10 of the Lakeland Commons PD

Parcel ID: L0150 00569

Zoning District: AG (Agriculture) with PD (Planned Development) overlay

Site Area: 7.54 acres

Applicant: Vince Smith, Lakeland Commons, LLC

Representative: Cory Brady, PLA, AICP

STAFF RECOMMENDATION

City Staff recommends approval of the Lakeland Commons Planned Development Area D, Lot 10 Site Plan application as submitted.

BACKGROUND

The Lakeland Commons Planned Development was originally approved in September of 2011 as a mixed-use development. Area D was amended in 2015 to replace the single family uses with a vertically integrated mixed-use concept of retail, office and multi-family residential. The BOC approved a Development Contract for Lakeland Commons PD, Phase 1 in May of 2019. Phase 2 was approved in March of 2022.

DISCUSSION

The applicant is requesting approval of a Site Plan application for Area D Lot 10 of the Lakeland Commons Planned Development. The application includes engineering and architectural plans for 20 town house units, as well as associated parking, lighting and landscape plans.

City Staff has reviewed the approved Outline Plan for Lakeland Commons and found that the Site Plan generally complies with the standards for Area D Lot 10 of the Outline Plan.

EXAMPLE MOTIONS

1. Motion to approve the Lakeland Commons Planned Development, Phase 4, Site Plan subject to the following conditions:
 - a. Conditions as determined by the Planning Commission
 - b. Conditions listed in the Staff Report
2. Motion to approve the Lakeland Commons Planned Development, Phase 4, Site Plan without conditions.
3. Motion to deny the Lakeland Commons Planned Development, Phase 4, Site Plan:
 - a. Reason for denial



Municipal Planning and Design Review Commission

Meeting Date: Thursday, October 10, 2024

Project: Lakeland Commons Planned Development, Area B, Lot 2 - Site Plan Application

Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Location: Area B Lot 2 of the Lakeland Commons PD

Parcel ID: L0150 00566

Zoning District: AG (Agriculture) with PD (Planned Development) overlay

Site Area: 10.25 acres

Applicant: Vince Smith, Lakeland Commons, LLC

Representative: Cory Brady, PLA, AICP

STAFF RECOMMENDATION

City Staff recommends approval of the Lakeland Commons Planned Development Area B, Lot 2 Site Plan application as submitted.

BACKGROUND

The Lakeland Commons Planned Development was originally approved in September of 2011 as a mixed-use development. Area D was amended in 2015 to replace the single family uses with a vertically integrated mixed-use concept of retail, office and multi-family residential. The BOC approved a Development Contract for Lakeland Commons PD, Phase 1 in May of 2019. Phase 2 was approved in March of 2022.

DISCUSSION

The applicant is requesting approval of a Site Plan application for a standalone building on Lot 2 of Area B of the Lakeland Commons Planned Development. The application includes engineering and architectural plans for the proposed Gelato Stand, as well as associated lighting and landscape plans.

City Staff has reviewed the approved Outline Plan for Lakeland Commons and found that the Site Plan generally complies with the standards for Area B Lot 2 of the Outline Plan.

EXAMPLE MOTIONS

1. Motion to approve the Lakeland Commons Planned Development, Area B Lot 2, Site Plan subject to the following conditions:
 - a. Conditions as determined by the Planning Commission
 - b. Conditions listed in the Staff Report
2. Motion to approve the Lakeland Commons Planned Development, Area B Lot 2, Site Plan without conditions.
3. Motion to deny the Lakeland Commons Planned Development, Area B Lot 2, Site Plan:
 - a. Reason for denial



Rec'd
9.9.24

Application for Site Plan Approval

Case No. _____ Date of Application September 4, 2024

Name of Applicant Lakeland Commons, LLC (Vince Smith Jr.)

Address 355 Tara Lane, Memphis, TN 38111

Daytime Telephone Number (901) 489-5896 Fax Number _____

E-mail corybrady@gmail.com

Name of Property Owner Applicant

Address _____ Telephone Number _____

Name of Project Planning/Engineering Firm Integrated Land Solutions, PLLC

Name of Project Manager or Contact Person Cory Brady, PLA, AICP

Address 9967 Bentwood Creek Cv., Collierville, TN 38017

Telephone Number (901) 493-6996 Fax Number _____

E-mail corybrady@gmail.com

Name of Development Lakeland Commons PMUD Parcel ID# L0150 00566

Location of Development Area B, Lot 2 (PB 296 PG 16)

Acreage 10.25 Acres Zoning District(s) PMUD (AG) Multiple Phases? _____ Check if YES

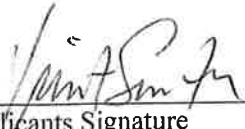
Total Gross Building Area 3,705sf Floor Area Ratio (FAR) 0.008 No. of Parking Spaces Shared (Ex.)

Amount of Open Space N/A Acres Open Space as Percent of Total Acreage N/A %

Have any variances been granted by the Board of Zoning Appeals? _____ If yes, provide description and date(s).

Approval requested (Check One): Preliminary ☐ Final ☒

Date of Preliminary Site Plan approval, if applicable _____


Applicants Signature

Sept. 4, 2024
Date

Property Owners Signature (if different from applicant)

Date

CITY OF LAKELAND
10001 Highway 70
Lakeland, TN 38002
Office: (901) 867-2716 Fax: (901) 867-2063
Email: Lwest@lakelandtn.org

www.lakelandtn.gov

PRE-APPLICATION CONFERENCE WITH CITY STAFF

At least thirty (30) days prior to filing any application for a Planned Development, the prospective applicant shall request a pre-application conference with the City.

SUBMITTAL AND MEETING TIMELINE

All applications must be submitted Thirty (30) days prior to the meeting of the Municipal Planning and Design Review Commission (MPDRC). The MPDRC meets on the second Thursday of every month unless otherwise posted. For the initial submittal, Three full size plan sets (24" x 36") as well as a digital copy of the application and accompanying plans are required. Additional plan sets may be required after subsequent staff review.

FEES

Municipal Planning Commission

<u>0 — five (5) acres</u>	\$500.00
<u>Six (6) —ten (10) acres</u>	\$750.00
<u>Over ten (10) acres</u>	\$1,000.00

Design Review Commission

<u>Less than one (1) acre</u>	\$200.00
<u>One (1) — two (2) acres</u>	\$300.00
<u>More than 2 acres</u>	\$400.00+\$20.00/ acre
<u>sign/fence</u>	\$100.00
<u>Appeal to DRC</u>	\$200 (Ord. 09-138)

INTEGRATED LAND SOLUTIONS, pllc

planning ▪ design ▪ landscape architecture

September 6, 2024

Paul Luker, AICP
Planning Director
City of Lakeland
10001 Highway 70
Lakeland, TN 38002

Re: Request for Site Plan Approval
Lakeland Commons Planned Mixed-Use Development (Lot 2, Area B)

Mr. Luker,

On behalf of the property owner and developer, I am requesting final site plan approval to permit a permanent retail kiosk at the intersection of Village Market Lane and Market Green Place within Lot 2, Area B of the Lakeland Commons PMUD as recorded in PB 296, PG 16 at the Shelby County Registers Office. MLGW assigned address: 4826 Village Market Lane.

Enclosed is a combined site & landscape plan and architectural plans and specifications. No major grading and drainage improvements are necessary or proposed and all utility services are readily available via a connection to the existing infrastructure. The retail structure will be constructed incorporating traditional methods and low-maintenance materials including cementitious panels, decorative trim mouldings, and a standing seam metal roof supported by decorative columns. Ambient site lighting will be provided by a series of low voltage LED "string lights" in the gathering areas. Parking for the proposed business will be provided through the facility's existing shared parking arrangement with no additional spaces necessary.

If you should have any questions please do not hesitate to contact me at corybrady@gmail.com or (901) 493-6996. It is always my pleasure to work with the City of Lakeland staff and commissions and I look forward to working with you again.

Respectfully,



Cory Brady, PLA, AICP
Integrated Land Solutions, pllc



Shelby County Tennessee

Shelandra Y Ford

Shelby County Register

As evidenced by the instrument number shown below, this document
has been recorded as a permanent record in the archives of the
Office of the Shelby County Register.

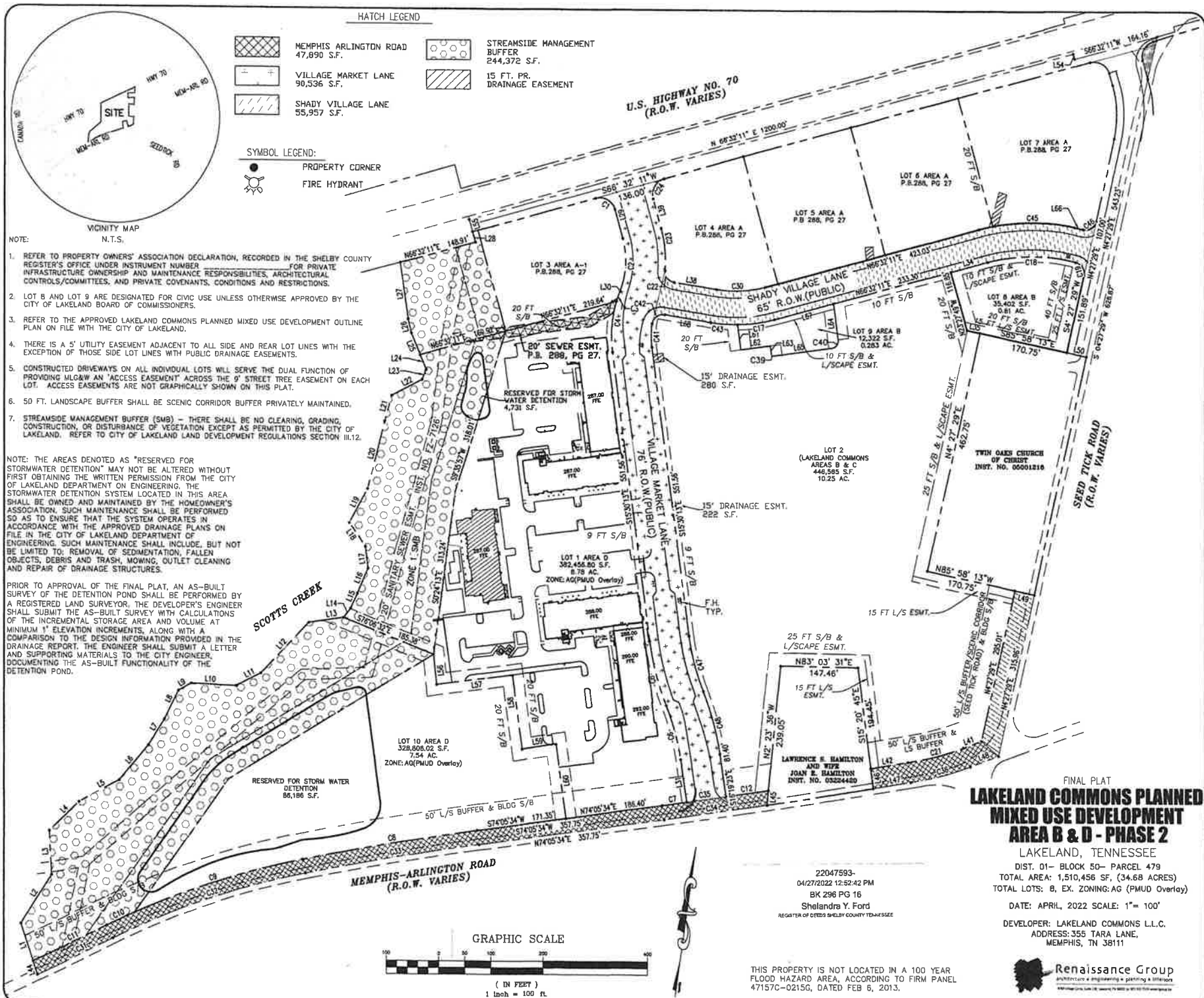


22047593

04/27/2022 - 12:52:42 PM

3 PGS	
ALONZO 2421279 - 22047593	
VALUE	0.00
MORTGAGE TAX	0.00
TRANSFER TAX	0.00
RECORDING FEE	15.00
DP FEE	2.00
REGISTER'S FEE	0.00
TOTAL AMOUNT	17.00

SHELANDRA Y FORD
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE



NOTE:

1. REFER TO PROPERTY OWNERS' ASSOCIATION DECLARATION, RECORDED IN THE SHELBY COUNTY REGISTER'S OFFICE UNDER INSTRUMENT NUMBER _____ FOR PRIVATE INFRASTRUCTURE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES, ARCHITECTURAL CONTROLS, COMMITTEES, AND PRIVATE COVENANTS, CONDITIONS AND RESTRICTIONS.
2. LOT 8 AND LOT 9 ARE DESIGNATED FOR CIVIC USE UNLESS OTHERWISE APPROVED BY THE CITY OF LAKELAND BOARD OF COMMISSIONERS.
3. REFER TO THE APPROVED LAKELAND COMMONS PLANNED MIXED USE DEVELOPMENT OUTLINE PLAN ON FILE WITH THE CITY OF LAKELAND.
4. THERE IS A 5' UTILITY EASEMENT ADJACENT TO ALL SIDE AND REAR LOT LINES WITH THE EXCEPTION OF THOSE SIDE LOT LINES WITH PUBLIC DRAINAGE EASEMENTS.
5. CONSTRUCTED DRIVEWAYS ON ALL INDIVIDUAL LOTS WILL SERVE THE DUAL FUNCTION OF PROVIDING VLGAW AN "ACCESS EASEMENT" ACROSS THE 9' STREET TREE EASEMENT ON EACH LOT. ACCESS EASEMENTS ARE NOT GRAPHICALLY SHOWN ON THIS PLAT.
6. 50 FT. LANDSCAPE BUFFER SHALL BE SCENIC CORRIDOR BUFFER PRIVATELY MAINTAINED.
7. STREAMSIDE MANAGEMENT BUFFER (SMB) - THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE CITY OF LAKELAND. REFER TO CITY OF LAKELAND LAND DEVELOPMENT REGULATIONS SECTION III.12.

NOTE: THE AREAS DENOTED AS "RESERVED FOR STORMWATER DETENTION" MAY NOT BE ALTERED WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION FROM THE CITY OF LAKELAND DEPARTMENT ON ENGINEERING. THE STORMWATER DETENTION SYSTEM LOCATED IN THIS AREA SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED DRAINAGE PLANS ON FILE IN THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING AND REPAIR OF DRAINAGE STRUCTURES.

PRIOR TO APPROVAL OF THE FINAL PLAT, AN AS-BUILT SURVEY OF THE DETENTION POND SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR. THE DEVELOPER'S ENGINEER SHALL SUBMIT THE AS-BUILT SURVEY WITH CALCULATIONS OF THE INCREMENTAL STORAGE AREA AND VOLUME AT MINIMUM 1' ELEVATION INCREMENTS, ALONG WITH A COMPARISON TO THE DESIGN INFORMATION PROVIDED IN THE DRAINAGE REPORT. THE ENGINEER SHALL SUBMIT A LETTER AND SUPPORTING MATERIALS TO THE CITY ENGINEER, DOCUMENTING THE AS-BUILT FUNCTIONALITY OF THE DETENTION POND.

FINAL PLAT
LAKELAND COMMONS PLANNED
MIXED USE DEVELOPMENT
AREA B & D - PHASE 2

LAKELAND, TENNESSEE
DIST. 01- BLOCK 50- PARCEL 479
TOTAL AREA: 1,510,456 SF, (34.68 ACRES)
TOTAL LOTS: 8, EX. ZONING: AG (PMUD Overlay)
DATE: APRIL, 2022 SCALE: 1"= 100'
DEVELOPER: LAKELAND COMMONS L.L.C.
ADDRESS: 355 TARA LANE,
MEMPHIS, TN 38111

22047593-
04/27/2022 12:52:42 PM
BK 296 PG 16
Shelandra Y. Ford
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

THIS PROPERTY IS NOT LOCATED IN A 100 YEAR
FLOOD HAZARD AREA, ACCORDING TO FIRM PANEL
47157C-0215G, DATED FEB 6, 2013.

Renaissance Group
architecture • engineering • planning • interiors
www.renaissancegroup.com

LAKELAND COMMONS-PH. 2 LOT CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	47.12'	30.00'	90°00'05"	42.43'	S68°27'46"E
C2	103.54'	162.00'	36°37'11"	101.79'	S5°09'08"E
C3	20.70'	238.00'	4°58'58"	20.69'	S10°39'58"W
C4	98.36'	238.00'	23°40'42"	97.66'	S3°39'52"E
C5	128.35'	523.00'	14°03'39"	128.03'	S22°32'03"E
C6	106.77'	462.00'	13°14'30"	108.54'	S22°56'38"E
C7	47.50'	14416.60'	0°11'20"	47.50'	S73°59'54"W
C8	338.89'	5190.00'	3°44'28"	338.83'	S72°13'20"W
C9	339.13'	1527.00'	12°43'29"	338.43'	S63°59'21"W
C10	58.66'	1527.00'	2°12'03"	58.65'	S56°31'35"W
C11	157.18'	5100.00'	1°45'57"	157.18'	S56°18'32"W
C12	81.98'	14416.60'	0°19'33"	81.98'	N73°26'20"E
C17	71.27'	282.50'	14°27'15"	71.08'	S73°45'49"W
C18	171.39'	323.09'	30°23'38"	169.39'	S81°51'18"W
C19	32.99'	21.00'	90°00'01"	29.70'	N40°32'32"W
C21	109.95'	559.50'	1°15'35"	109.77'	N67°10'11"E
C22	31.20'	21.00'	85°06'48"	28.41'	S46°00'44"E
C23	83.10'	238.00'	20°00'23"	82.68'	S13°27'32"E
C24	47.12'	30.00'	89°59'55"	42.43'	S21°32'14"W
C30	94.50'	217.50'	24°53'41"	93.76'	N78°59'02"E
C31	161.14'	5127.00'	1°48'03"	161.14'	N56°19'35"E
C32	390.75'	1500.00'	14°55'32"	389.65'	N62°53'19"E
C33	337.13'	5163.00'	3°44'28"	337.07'	N72°13'20"E
C34	198.98'	14443.60'	0°47'22"	198.98'	N73°41'53"E
C35	76.00'	14416.60'	0°18'07"	76.00'	N73°45'10"E
C36	117.42'	597.50'	11°15'35"	117.23'	N67°10'11"E
C39	3.93'	2.50'	89°59'59"	3.54'	S60°30'29"E
C40	22.78'	14.50'	89°59'45"	20.51'	N29°29'39"E
C41	44.61'	162.00'	15°46'38"	44.47'	S7°36'54"E
C42	33.41'	21.00'	91°09'27"	30.00'	S45°51'09"W
C43	51.48'	282.50'	10°26'29"	51.41'	S86°12'39"W
C44	3.02'	14.50'	11°54'52"	3.01'	N21°27'39"W
C45	186.40'	382.50'	27°55'16"	184.56'	N80°29'50"E
C46	32.99'	21.00'	89°59'59"	29.70'	N49°27'28"E
C47	109.70'	447.00'	14°03'39"	109.42'	S22°32'03"E
C48	124.34'	538.00'	13°14'30"	124.06'	S22°56'38"E

LAKELAND COMMONS - PH. 2 LOT LINE TABLE			LAKELAND COMMONS - PH. 2 LOT LINE TABLE			LAKELAND COMMONS - PH. 2 LOT LINE TABLE		
LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L1	74.97'	N26°11'49"W	L21	49.80'	N7°36'28"E	L47	72.98'	N72°47'59"E
L2	111.04'	N24°00'16"E	L22	65.16'	N53°53'05"E	L48	57.52'	N61°32'24"E
L3	84.36'	N11°06'38"W	L23	20.53'	N14°45'00"E	L49	38.00'	N85°58'13"W
L4	79.45'	N38°15'18"E	L24	29.35'	N30°50'26"W	L50	38.00'	S85°58'13"E
L5	87.89'	N53°45'39"E	L25	44.14'	N30°50'26"W	L54	10.00'	S23°27'49"E
L6	86.80'	N31°45'37"E	L26	27.63'	N20°56'51"W	L55	24.00'	S23°27'49"E
L7	58.77'	N23°57'28"E	L27	110.59'	N15°44'48"W	L56	58.05'	S13°48'44"E
L8	60.92'	N18°02'28"E	L28	21.00'	N23°27'49"W	L57	146.70'	N74°31'10"E
L9	27.94'	N51°26'20"E	L29	57.55'	S23°27'43"E	L58	143.27'	S15°29'58"E
L10	84.96'	N84°57'08"E	L30	0.81'	S13°09'27"W	L59	65.47'	N73°04'24"E
L11	53.84'	N54°53'24"E	L31	81.30'	S16°19'23"E	L60	142.38'	S15°37'52"E
L12	134.45'	N35°11'40"E	L34	72.84'	N66°32'11"E	L61	47.75'	S15°30'03"E
L13	67.28'	N73°25'06"E	L35	25.30'	S85°58'13"E	L62	57.05'	N74°29'44"E
L14	21.73'	N29°09'20"E	L38	82.15'	S88°34'08"E	L63	16.50'	S15°30'29"E
L15	30.57'	N17°06'54"E	L39	57.55'	S23°27'43"E	L64	66.32'	N15°30'13"W
L16	51.57'	N15°40'26"E	L41	36.85'	N61°32'24"E	L65	113.00'	N74°29'32"E
L17	40.75'	N14°43'29"W	L42	71.75'	N72°47'59"E	L66	16.64'	S85°32'32"E
L18	55.17'	N42°39'21"W	L44	27.18'	N26°11'49"W	L67	116.79'	S66°32'11"W
L19	75.31'	N19°48'47"E	L45	27.87'	S2°23'36"E	L68	89.69'	N88°34'08"W
L20	133.84'	N6°06'02"E	L46	38.02'	S15°20'45"E			

LAKELAND COMMONS P.D. LOT AREA SETBACKS			
AREA	FRONT	SIDE	REAR
A	50'-US HWY 70 25'-VML	20	25
A-1	50'-US HWY 70 25'-VML	20	25
B	40'-SVL 10'-M/A	20	20
C	50'-M/A 9'-VML	25	25
D	50'-M/A 9'-VML	20	ZONE 2 SMB

US 70 - U.S. HWY 70
VML - VILLAGE MARKET LANE
SVL - SHADY VILLAGE LANE
M/A - MEMPHIS/ARLINGTON RD
ST - SEEDTICK RD.

LAKELAND COMMONS P.D. LOT AREAS		
LOT #	SIZE(AC.)	AREA
1	8.78	D
2	10.25	B & C
3	1.89	A1
4	1.02	A
5	1.22	A
6	1.22	A
7	1.67	A
8	0.81	B
9	0.28	B
10	7.54	D
TOTAL	34.68	

FINAL PLAT
**LAKELAND COMMONS PLANNED
MIXED USE DEVELOPMENT
AREA B & D - PHASE 2**
LAKELAND, TENNESSEE

DIST. 01- BLOCK 50- PARCEL 479
TOTAL AREA: 1,510,456 SF, (34.68 ACRES)
TOTAL LOTS: 8, EX. ZONING: AG (PMUD Overlay)

DATE: APRIL, 2022 SCALE: 1"= 100'

DEVELOPER: LAKELAND COMMONS L.L.C.
ADDRESS: 355 TARA LANE,
MEMPHIS, TN 38111

22047593-
04/27/2022 12:52:42 PM
BK 296 PG 16
Shelandra Y. Ford
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

Renaissance Group
architecture • engineering • planning • interiors
3700 Poplar Ave., Suite 200, Memphis, TN 38117-2000
901.521.1000 | www.renaissgroup.com

CERTIFICATE OF ENGINEER

State of Tennessee
County of Shelby

I, Wesley Woodruff, a Professional Engineer, do hereby certify that the design of public and private improvements provided for in the Preliminary Plot / Construction Plans / Final Plot (whichever is applicable) are in accordance with acceptable engineering practices, the Tennessee Department of Environment and Conservation, City of Lakeland Manual for Public Works and Materials Specifications, and all City of Lakeland ordinances, including Subdivisions.

In witness whereof, I the said Wesley Woodruff, a Professional Engineer, hereunto set out hand and affix my seal this 8th day of April, 2022.

Tennessee Registration No. 104881

Wesley Woodruff
Professional Engineer



CERTIFICATE OF SURVEYOR (EXTERIOR BOUNDARY ONLY)
State of Tennessee
County of Shelby

I, REGIS T. STORCH SR., hereby certify that this plat was prepared from notes taken during an actual survey made by me during the month of DECEMBER, 2018, and that this Plat or Site Plan correctly represents said survey. All bearings are referenced to the 1983 Tennessee State Plane Coordinate System; all new property corners are marked in accordance with Lakeland Subdivision Standard; the precision of the unadjusted survey is 1:10,000 or greater and all special flood hazard areas are properly located as per the latest Flood Insurance Rate Map. All dimensions are expressed in feet and decimals. All bearings, distances, and field information are true and correct to the best of my knowledge.

In witness whereof, I the said REGIS T. STORCH SR., a Land Surveyor, hereunto set out hand and affix my seal this 2nd day of APRIL, 2022.

Tennessee Registration No. 2158



CERTIFICATE OF MUNICIPAL PLANNING COMMISSION APPROVAL -
SUBDIVISION

I, JEFF ADAMS, do hereby certify that the City of Lakeland Municipal Planning Commission has approved this Preliminary / Final Plat (whichever is applicable). The signing of this certificate shall in no way be deemed to constitute or effect an acceptance of the dedication of any street, improvement, or other ground shown upon the plat.

Date: 4/26/22

Jeff Adams
MPC Secretary

CERTIFICATE OF CITY ENGINEER

Construction Plans are inspected and Approved by the City Engineer
This 8th day of April, 2022.

City Engineer

CERTIFICATE OF MORTGAGEE AND DEDICATION

The undersigned mortgagee, Lakeland Commons LLC, hereby certify that they are the mortgagee of the foregoing property and that the plat is with the free consent and in accordance with the desires of the above named owners, proprietors, do hereby dedicate to the City of Lakeland all Public Improvements, Easements, or lands herein specifically identified for dedication, for the purposes of operation, construction and maintenance of these improvements, as needed for the proper development and maintenance of said Subdivision.

Date: 4/11/2022Signature of Mortgagee Lakeland Commons LLC

Include Notary Seal and Signature

STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, the undersigned a notary public in and for the State and County aforesaid, duly commissioned and qualified, personally appeared Renaissance Group Center, subdivision, and he as such representative executed the foregoing instrument for the purpose therein contained by signing his name as representative of the mortgagee.

In witness whereof, I hereunto set out hand and affix my seal this 11th day of April, 2022.

Shelandra Y. Ford
Notary Public

My Commission expires: 9/1/2023

CERTIFICATE OF OWNER(S) AND DEDICATION

The undersigned owner, Lakeland Commons LLC, hereby certify that they are the owners of the foregoing property and that the plat is with the free consent and in accordance with the desires of the above named owners, proprietors, do hereby dedicate to the City of Lakeland all Public Improvements, Easements, or lands herein specifically identified for dedication, for the purposes of operation, construction and maintenance of these improvements, as needed for the proper development and maintenance of said Subdivision.

Date: April 11, 2022Signature of Owner(s) Lakeland Commons LLC

Include Notary Seal and Signature

STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, the undersigned a notary public in and for the State and County aforesaid, duly commissioned and qualified, personally appeared Renaissance Group Center, subdivision, and he as such representative executed the foregoing instrument for the purpose therein contained by signing his name as representative of the mortgagee.

In witness whereof, I hereunto set out hand and affix my seal this 11th day of April, 2022.

Shelandra Y. Ford
Notary Public

My Commission expires: 9/1/2023

THE AREAS DENOTED AS "RESERVED FOR STORM WATER DETENTION" MAY NOT BE ALTERED WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION FROM THE CITY OF LAKEAND DEPARTMENT OF ENGINEERING. THE STORM WATER DETENTION SYSTEM LOCATED IN THIS AREA SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED DRAINAGE PLANS ON FILE IN THE CITY OF LAKEAND DEPARTMENT OF ENGINEERING. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: REMOVAL OF SEDIMENTATION; FALLEN OBJECTS; DEBRIS AND TRASH; MOWING; OUTLET CLEANING; AND REPAIR OF DRAINAGE STRUCTURES.

PRIOR TO APPROVAL OF THE FINAL PLAT, AN AS-BUILT SURVEY OF THE DETENTION POND SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR. THE DEVELOPER'S ENGINEER SHALL SUBMIT THE AS-BUILT SURVEY WITH CALCULATIONS OF THE INCREMENTAL STORAGE AREA AND VOLUME AT MINIMUM 1' ELEVATION INCREMENTS, ALONG WITH A COMPARISON TO DESIGN INFORMATION PROVIDED IN THE DRAINAGE REPORT. THE ENGINEER SHALL SUBMIT A LETTER AND SUPPORTING MATERIALS TO THE CITY ENGINEER, DOCUMENTING THE AS-BUILT FUNCTIONALITY OF THE DETENTION POND.

FINAL PLAT
**LAKELAND COMMONS PLANNED
MIXED USE DEVELOPMENT
AREA B & D - PHASE 2**
LAKELAND, TENNESSEE

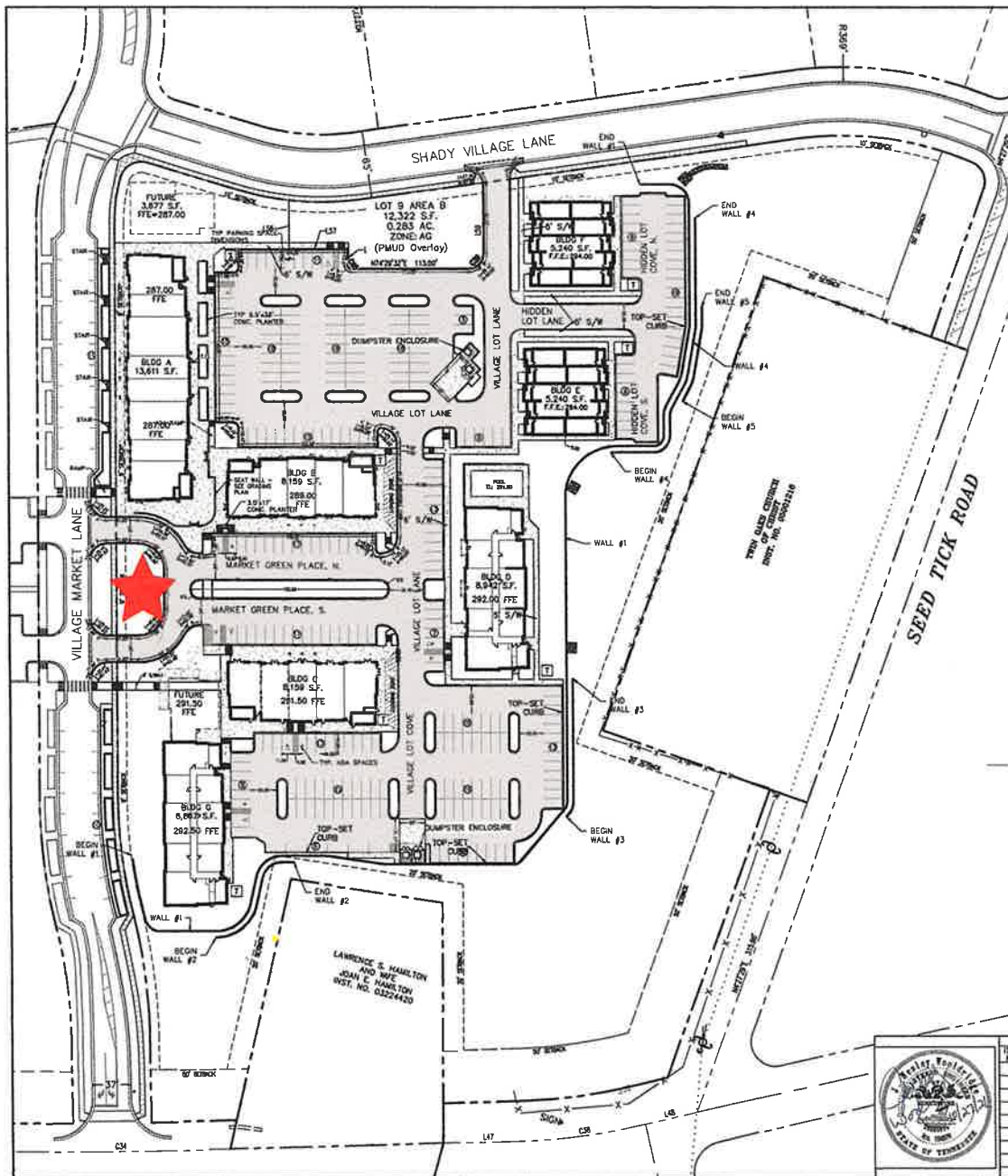
DIST. 01- BLOCK 50- PARCEL 479
TOTAL AREA: 1,510,456 SF, (34.68 ACRES)
TOTAL LOTS: 8, EX. ZONING: AG (PMUD Overlay)

DATE: MARCH, 2022 SCALE: 1"= 100'

DEVELOPER: LAKELAND COMMONS L.L.C.
ADDRESS: 355 TARA LANE,
MEMPHIS, TN 38111

22047593-
04/27/2022 12:52:42 PM
BK 296 PG 16
Shelandra Y. Ford
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

Renaissance Group
architecture • engineering • planning • interior
2000 Poplar Ave., Suite 200, Memphis, TN 38111-1001



PHASE TWO SITE DATA

EXISTING ZONING: AG (PMUD Overlay)
 GROSS LAND AREA: 11.35 AC
 SCENIC CORRIDOR (SEED TICK RD.): 0.85 AC
 NET DEVELOPABLE LAND AREA: 10.50 AC

PHASE TWO DEVELOPMENT DATA

PHASE 2: MIXED-USE BUILDINGS (VERTICAL CONSTRUCTION)
 PROPOSED BUILDING HEIGHT: 3-STORY
 BUILDING FLOOR AREA: 143,214 GSF*
 MIXED USE BLDG A (13,611 BSF/40,833 GSF)
 MIXED USE BLDG B (8,159 BSF/24,477 GSF)
 MIXED USE BLDG C (8,159 BSF/24,477 GSF)
 RESIDENTIAL BLDG D (8,942 BSF/26,826 GSF)
 RESIDENTIAL BLDG E (8,867 BSF/26,601 GSF)

PHASE 2: TOWNHOMES (VERTICAL CONSTRUCTION)
 PROPOSED BUILDING HEIGHT: 2-STORY
 BUILDING FLOOR AREA: 20,960 GSF*
 TOWNHOMES E (5,240 BSF/10,480 GSF)
 TOWNHOMES F (5,240 BSF/10,480 GSF)

*GROSS FLOOR AREA: 164,174 SF
 FLOOR AREA RATIO: 0.350 F.A.R.

RETAIL FLOOR AREA:
 MIXED USE BLDG A (13,611 SF)
 MIXED USE BLDG B (8,159 SF)
 MIXED USE BLDG C (8,159 SF)

TOTAL DWELLING UNITS: 123 UNITS

MIXED USE BLDG A (24 UNITS)
 1-BR (8 UNITS)
 2-BR (16 UNITS)
 MIXED USE BLDG B (16 UNITS)
 1-BR (12 UNITS)
 2-BR (4 UNITS)
 MIXED USE BLDG C (16 UNITS)
 1-BR (12 UNITS)
 2-BR (4 UNITS)
 RESIDENTIAL BLDG D (23 UNITS)
 1-BR (11 UNITS)
 2-BR (12 UNITS)
 TOWNHOMES BLDG E (10 UNITS)
 TOWNHOMES BLDG F (10 UNITS)
 RESIDENTIAL BLDG G (24 UNITS)
 1-BR (12 UNITS)
 2-BR (12 UNITS)

RESIDENTIAL DENSITY: 11.4 UNITS/ACRE

PARKING REQUIRED: 319 SPACES
 RETAIL: (4.5/1000SF=135 REQ.)
 RESIDENTIAL: (1.5/UNIT=185 REQ.)
 OFF-STREET PARKING PROVIDED: 298 SPACES
 ON-STREET PARKING PROVIDED: 21 SPACES
 TOTAL PARKING PROVIDED: 319 SPACES
 ACCESSIBLE SPACES PROVIDED:
 STANDARD: 7 SPACES
 VAN: 7 SPACES
 TOTAL: 14 SPACES



BUILDING SETBACKS	
VILLAGE MARKET LANE	NONE / 0 FT*
SHADY VILLAGE LANE	10 FT
MEMPHIS-ARLINGTON ROAD	50 FT
SEED TICK ROAD	50 FT
PRIVATE DRIVE	10 FT**
SIDE YARD SETBACK	20 FT

* NONE WHERE BALCONIES AND/OR OTHER BUILDING APPENDAGES EXIST. PRIMARY BUILDING FACADE SHALL BE SETBACK A MINIMUM OF 9 FEET FROM THE ROW LINE.
 ** SETBACK LINES NOT SHOWN.

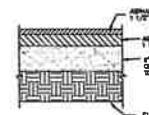
GRAPHIC SCALE



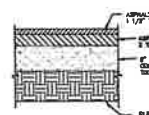
THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD HAZARD AREA, ACCORDING TO FIRM PANEL 47157C-0215G, DATED FEB. 6, 2013.

LEGEND

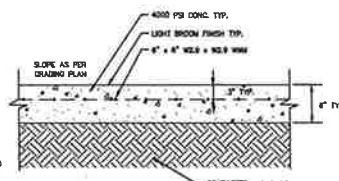
- ASPHALT PAVING
- CONCRETE SIDEWALK
- 10'X10' TRANSFORMER PAD
- PROPERTY LINE/RIGHT-OF-WAY LINE



TYPICAL PAVEMENT DETAIL



TYPICAL PAVEMENT DETAIL



LOADING ZONE & DUMP PAD



REV.	DESCRIPTION OF CHANGE	APPROVED DATE

DEVELOPER: LAKELAND COMMONS L.L.C.
 RENAISSANCE GROUP, INC.
 8700 VILLAGE CIRCLE, SUITE 100
 LAKELAND, TN 38002
 (601) 320-5533 FAX: (601) 320-5534 FAX

DEPARTMENT OF ENGINEERING
SITE PLAN
 LAKELAND, TENNESSEE
 FROM: TO: BOOK: _____
 SURVEY: HARRIS DATE: 3/13/2021
 DESGN: MGR DATE: 11/05/2021 CND: JMW DATE: 11/01/2021 SCALE: 1"=50'
 REVD: _____
 TITL: ENGINEER

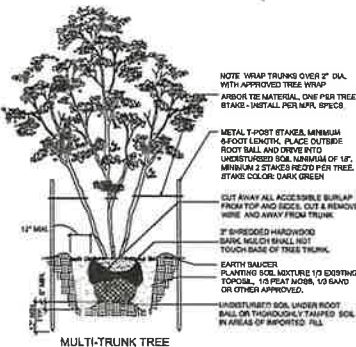
GENERAL NOTES

- This landscape plan was prepared using data provided by other professionals. This landscape plan intended to provide note, shrub, and groundcover specifications only. Please refer to the civil engineer's and/or architect's plans as necessary for site related details and specifications. No guarantee of accuracy pertaining to the site plan elements illustrated is expressed or conveyed.
- All plant material shall conform to the standards of the "American Standard for Nursery Stock" as published by the American Association of Nurserymen.
- All trees, shrubs and ground covers shown on the landscape plan shall be installed as the species specified in the plant schedule unless requested in writing by the owner who reserves the right to substitute similar plant material. Subject to approval by the municipality.
- The landscape architect and the owner assume the right to reject any or all planting materials which in their opinion do not appear to fit for this planting installation.
- Any substitutions or changes must be approved by the landscape architect.
- The plant quantities illustrated on the plan shall supersede the quantities listed in the plant schedule. The contractor shall be responsible for verification of plant quantities.
- Plant spacing is approximate. Space all shrubs evenly to fill the intended space using the quantity illustrated.
- Plant size are minimums. The contractor shall meet all size requirements listed. No underbush plant material will be accepted. Any substitutions must be approved by the owner, landscape architect, and municipality.
- The landscape contractor shall locate a source for all planting materials prior to submitting a bid. A minimum of 1 in 10 plants of each plant species shall have a label attached providing the common and scientific name of said plant.
- All plants shall be vigorous, healthy, in full leaf free of pests and disease. Use appropriate fertilizers in recommended quantities.
- The landscape contractor shall provide a one-year warranty on all materials from date of installation. The landscape contractor or the owner's designee shall be responsible for maintenance for one year. The name and contact information for the responsible party must be on file with the landscape architect. The property owner is required by municipal ordinance to maintain the landscaping and ground cover in good condition, thereafter.
- If it is the landscape contractor's responsibility to verify with the general contractor that the subgrade preparation has been completed and four (4) inches of topsoil has been placed on all proposed lawn areas and planting beds. The landscape contractor shall not begin any planting / installation until the general contractor has completed the subgrade work and the topsoil has been installed.
- Any material that dies or deteriorates prior to acceptance of the work will be promptly removed and replaced. Replacements shall also be guaranteed for a period of one year from date of installation.
- Utility locations illustrated are approximate. The landscape contractor shall have all utilities located and identified prior to installation of any plant materials. Landscape materials shall be adjusted accordingly when conflicts arise.
- The contractor assumes responsibility for any damages to such utilities incurred by his company. One Call = 811
- Prior to installation of soil, all proposed lawn areas shall be graded and rolled smooth to a uniform grade as shown on the grading plan, free of weeds and other debris, and the area fertilized as specified. After installation, soil shall be rolled at a sufficient rate to promote adequate root growth. All soil shall be laid within 24 hours of arriving at the site.
- Prior to the installation of any plant material, all bed areas shall be amended to provide a planting soil mix composed of 50% existing topsoil and 1/2 pro-mix, given mix or equal. If the existing soil is composed of primarily clay, the existing soil shall be removed at a depth of 18" and replaced with pro-mix, given mix or equal and tilled under to a 24" depth.

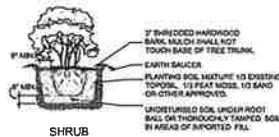
SITE DATA:
TOTAL SITE AREA: 3716.29 SF / 0.085 AC
BUILDING AREA: 261 SF
FLOOR AREA RATIO: 0.08

PLANT SCHEDULE

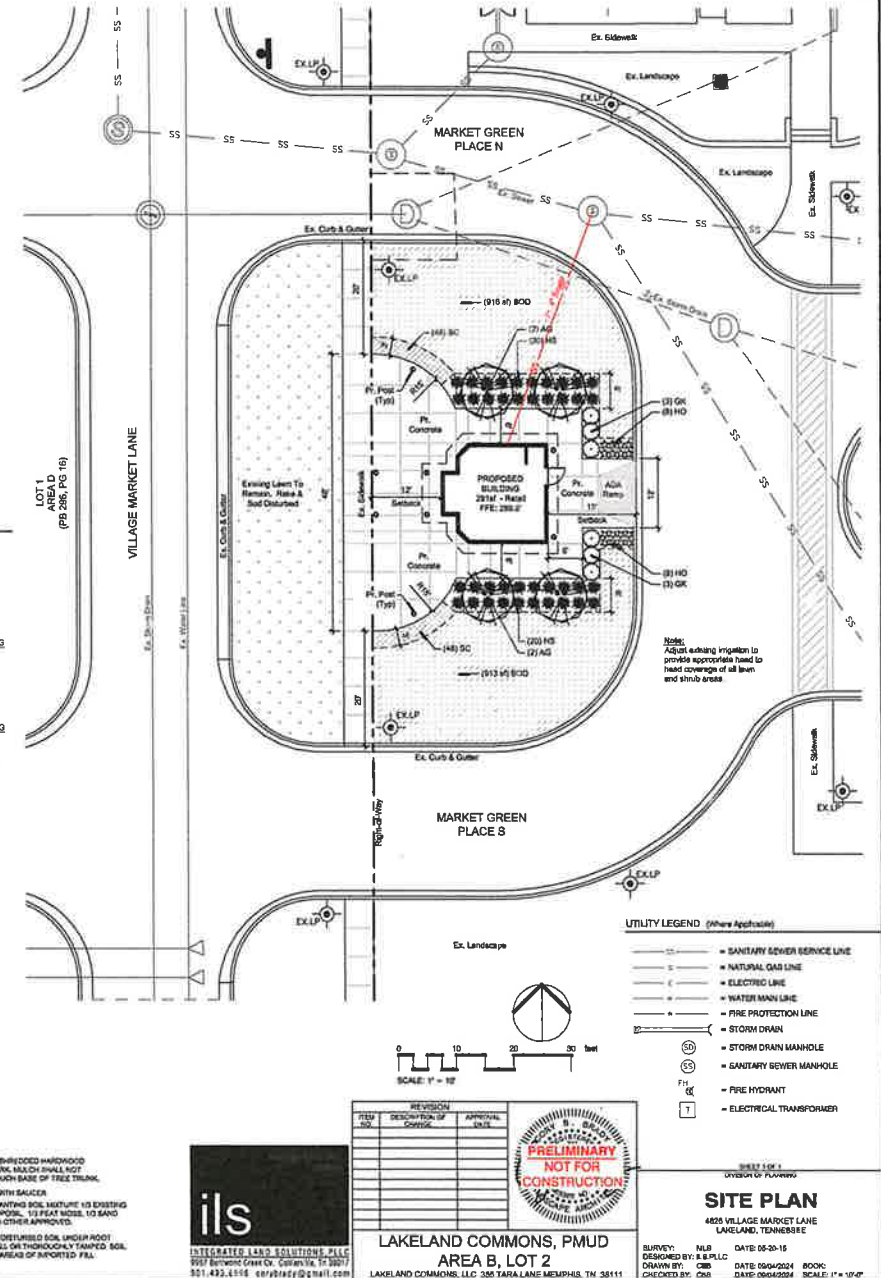
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT	SPACING
	AG	4	Paperbark Maple / <i>Acer glabrum</i>	2" Cal.	B&B	
	OK	6	Klein's Hardy Gardenia / <i>Gardenia jasminoides</i> 'Klein's Hardy'	3 gal.	Pot	36" o.c.
	HS	40	Blue Oak Grass / <i>Holcus lanatus</i> 'Blue Oak'	3 gal.	Pot	36" o.c.
	HO	16	Stella de Oro Daylily / <i>Hemerocallis</i> 'Stella de Oro'	1 gal.	Pot	18" o.c.
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	SPACING
	GC	8 Bays	Annularis / <i>Annularis</i> Contractor Selected	1st	Pot	12" o.c.
	SDO	1,229 sf	Bermuda Grass / <i>Cynodon dactylon</i> '16 Hybrid'	1st	Pot	

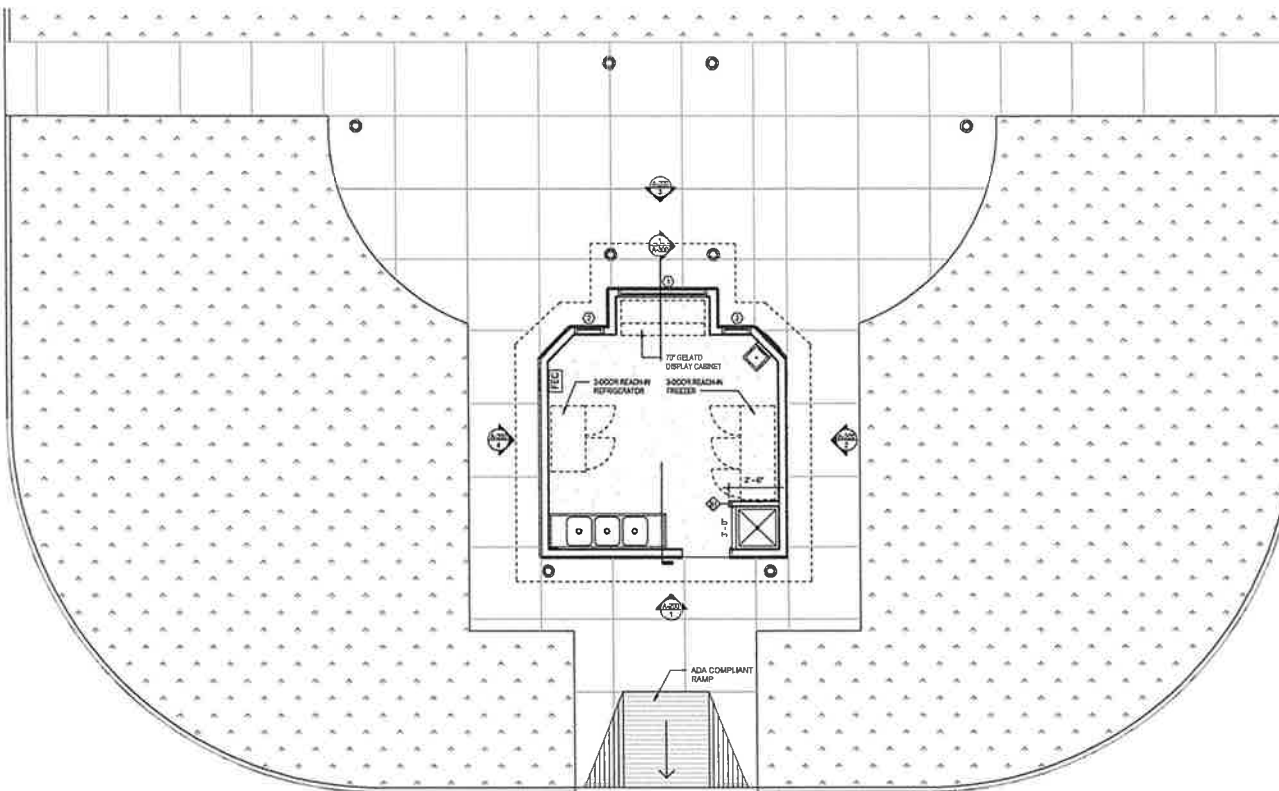


MULTI-TRUNK TREE



SHRUB





FLOOR PLAN LEGEND

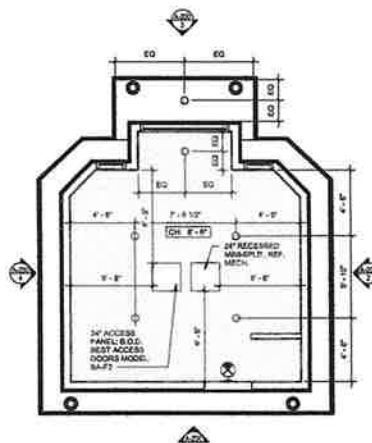
- NEW WALLS (NON-RATED)
- FEC FIRE EXTINGUISHER CABINET
- WALL TAG
- DOOR TAG
- WINDOW TAG

REFLECTED CEILING PLAN LEGEND

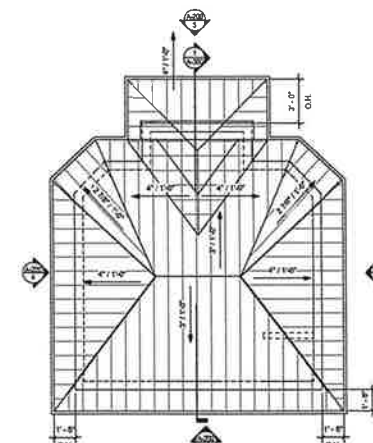
- RECESSED LED CAN FIXTURE
- EXIT LIGHT FIXTURE
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- EXHAUST FAN
- GYP BOARD CEILING
- CEILING HEIGHT

*SEE ELECTRICAL DWGS FOR LIGHT FIXTURE SCHEDULE

1 FLOOR PLAN
1/4" = 1'-0"



2 REFLECTED CEILING PLAN
1/4" = 1'-0"



3 ROOF PLAN
1/4" = 1'-0"

UrbanARCH
associates, pc

498 SOUTH MAIN
MEMPHIS, TENNESSEE 38103
P 901.578.7173 / F 901.578.5223
www.urarch.com

Seal

NOT FOR CONSTRUCTION

LAKELAND GELATO

4826 Village Market Ln,
Lakeland, TN 38002

© 2024 UrbanARCH Associates, P.C.
No part of this work covered by the copyright herein may be reproduced or copied in any form or by any means (graphic, electronic, mechanical, or photocopying) without the express written permission of UrbanARCH Associates, P.C. The use of these documents without the express written permission of UrbanARCH Associates, P.C. is illegal and a violation of federal copyright laws.

Revisions:
No. Description Date

Project No: 24028
Issued For: DRC
Date: 8-23-2024

FLOOR PLAN, RCP, &
ROOF PLAN

A-101

ASSEMBLIES LEGEND

ROOF ASSEMBLIES

STANDING SEAM ROOF ASSEMBLY
WOOD SHAKES (SEE DETAIL)
18" PLYWOOD SHEATHING
ICE AND WATER SHIELD
FACIALS SHOWN AS SMOOTH PANEL (S.D. 12"
PANELS W/ 1 1/2" BEAMS)

EXTERIOR WALL ASSEMBLIES

80. STUD & GYPSUM EXTERIOR WALL ASSEMBLY
1/2" GYP. BL.
3/4" INS. STUDS @ 16" O.C.
BATT INSULATION (R-13 MIN.)
1/2" PLYWOOD SHEATHING
COMMERCIAL GRADE WRAP (S.D. TYPEX COMMERCIAL
WRAP)
FIBER CEMENT PANELING (S.D. 4" WIDE 48" PANEL BOARD)

FOUNDATION ASSEMBLY

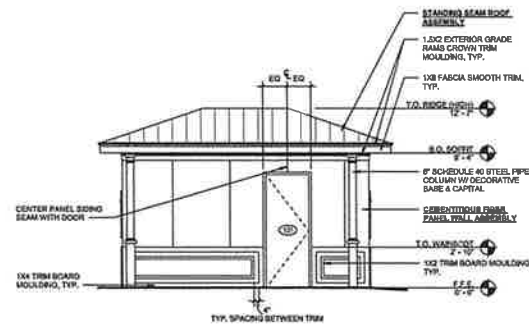
BLAS DESIGN FOUNDATION ASSEMBLY
- REINFORCED CONCR. SLAB (SEE STRUCT.)
- 12" VAPOR BARRIER
- 6" GRANULAR FILL
- COMPACTED SURFACE

UrbanARCH
associates, pc

498 SOUTH MAIN
MEMPHIS, TENNESSEE 38103
P 901.578.7173 / F 901.578.5223
www.urarch.com

Seal

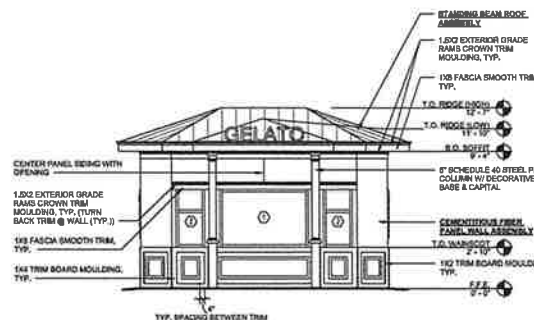
NOT FOR CONSTRUCTION



1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"

© 2014 UrbanARCH Associates, P.C.
No part of this work covered by the copyright herein may be reproduced or copied in any form or by any means graphic, electronic, mechanical, or photocopying without the express written permission of UrbanARCH Associates, P.C. The use of these documents without the express written permission of UrbanARCH Associates, P.C. is illegal and a violation of federal copyright laws.

Revisions:

No.	Description	Date

Project No: 24028
Issued For: DRC
Date: 8-23-2024

EXTERIOR ELEVATIONS

A-200

ASSEMBLIES LEGEND

ROOF ASSEMBLIES

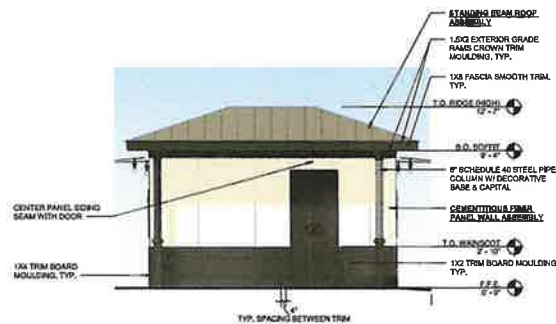
STANDARD ROOF ASSEMBLY
WOOD SHAKE (SHED) SHAKES
3/4" PLYWOOD SHEATHING
ICE AND WATER SHIELD
FASCIA BOARD (SMOOTH PANEL) @ 0.0" 12"
PANELS @ 12" SPACING

EXTERIOR WALL ASSEMBLIES

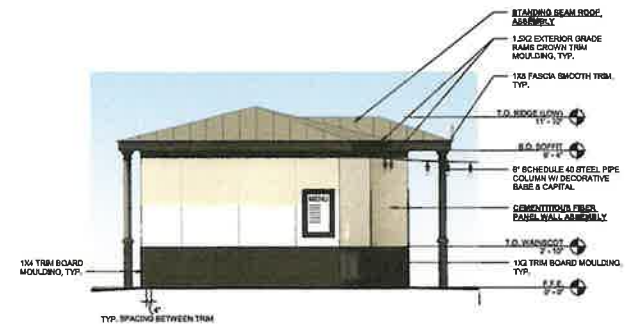
NO. 2 STUD & CEMENT BRICK WALL ASSEMBLY
3/4" SIP. BR.
16 NO. STUDS @ 16" O.C.
BATT INSULATION (R-20 MIN.)
3/4" PLYWOOD SHEATHING
CONCRETE GRADE WRAP @ 0.0" 12" TYPEX CONCRETE
WRAP
FINISH CEMENT PANELING @ 0.0" 12" HANDED 4" PANEL SIDING

FOUNDATION ASSEMBLY

SLAB ON GRADE FOUNDATION ASSEMBLY
- 4" REINFORCED CONC. SLAB (SEE STRUCT.)
- 18" W/4" VAPOR BARRIER
- 4" GRANULAR FILL
- COMPLETED SUBGRADE



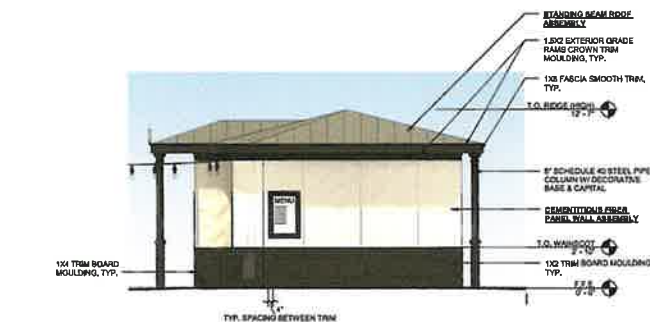
1 ELEVATION - EAST
1/4" = 1'-0"



2 ELEVATION - NORTH
1/4" = 1'-0"



3 ELEVATION - WEST
1/4" = 1'-0"



4 ELEVATION - SOUTH
1/4" = 1'-0"

UrbanARCH
associates, pc

498 SOUTH MAIN
MEMPHIS, TENNESSEE 38103
P 901.578.1173 / F 901.578.5223
www.urbanarch.com

Seal

NOT FOR CONSTRUCTION

LAKELAND GELATO
4826 Village Market Ln.
Lakeland, TN 38002

© 2024 UrbanARCH Associates, P.C.
No part of this work covered by the copyright herein may be reproduced or stored in any form or by any means (graphic, electronic, mechanical, or photocopying) without the express written permission of UrbanARCH Associates, P.C. The use of these documents without the express written permission of UrbanARCH Associates, P.C. is illegal and a violation of federal copyright laws.

Revisions:		
No.	Description	Date

Project No: 24028
Issued For: DRG
Date: 8-23-2024

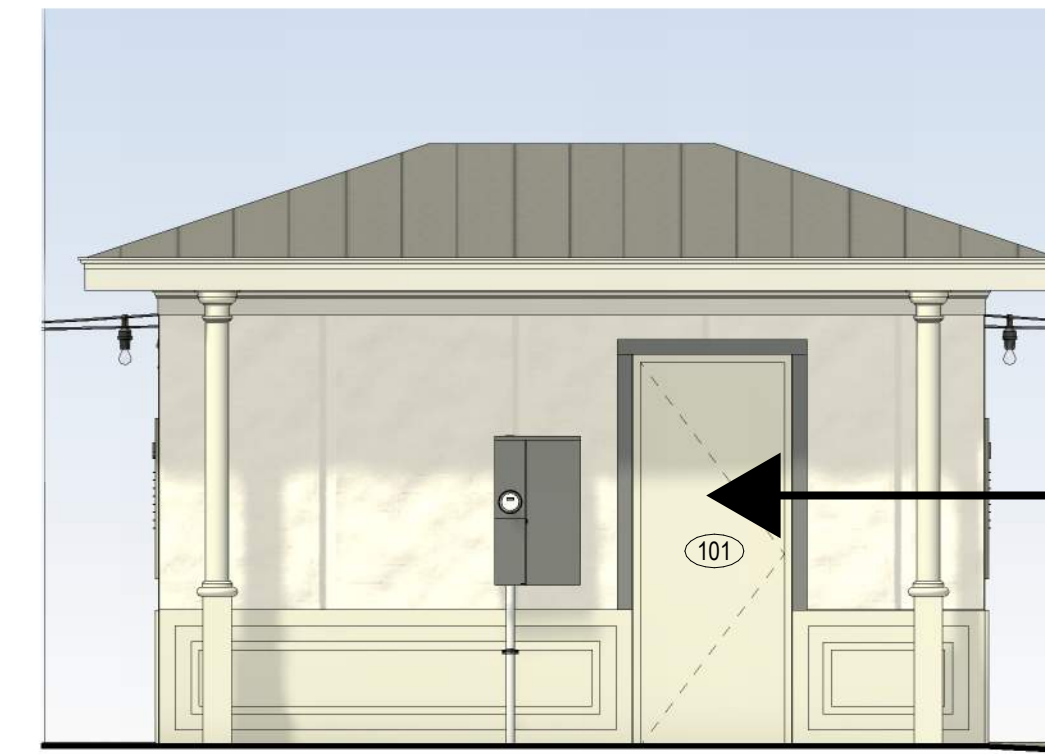
EXTERIOR ELEVATIONS
- COLORED

A-201



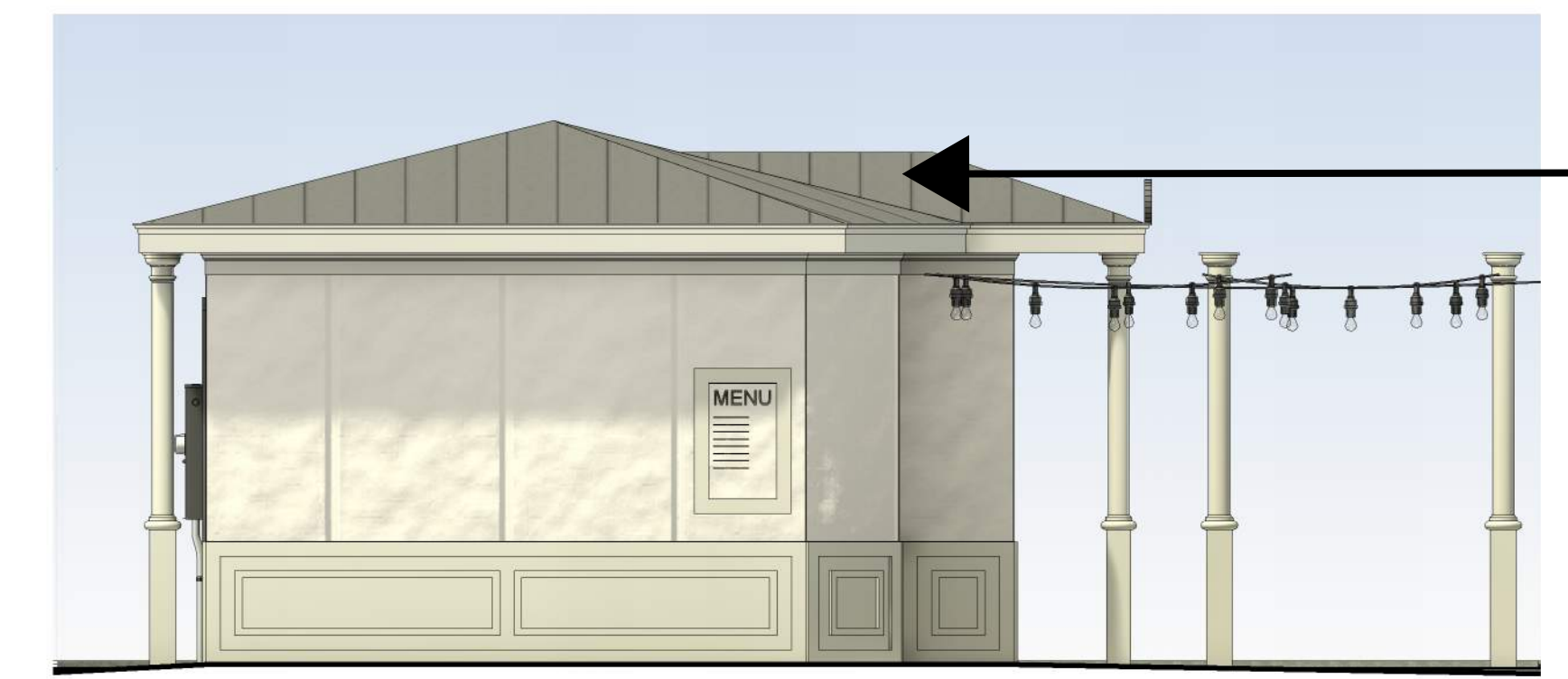
ELEVATION - WEST

1/4" = 1'-0"



ELEVATION - EAST

1/4" = 1'-0"



ELEVATION - NORTH

1/4" = 1'-0"



ELEVATION - SOUTH

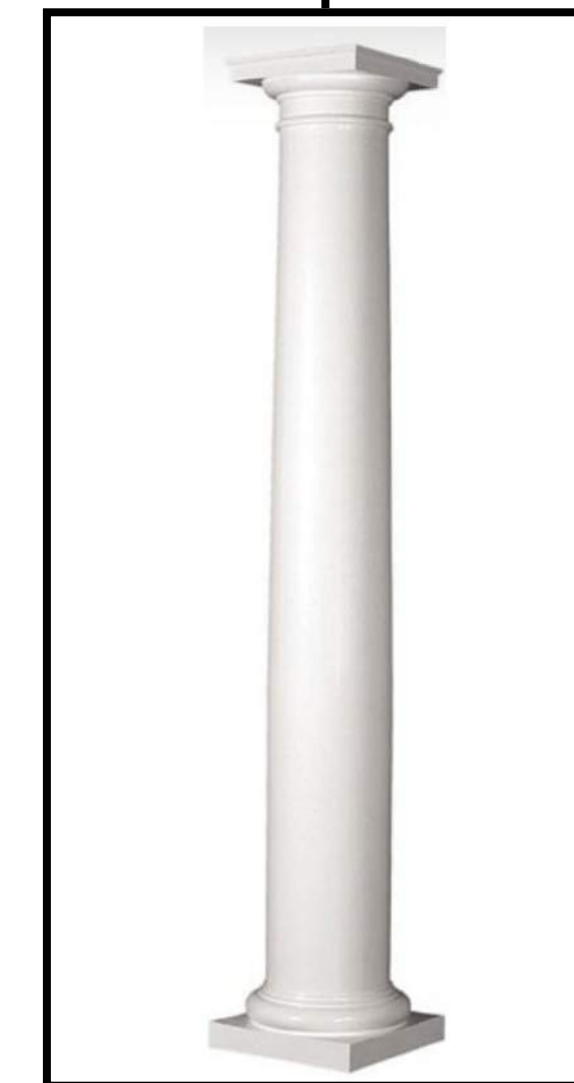
1/4" = 1'-0"



HARDIE PANEL 48", SMOOTH, PRIMED FOR PAINT
HARDIE SOFFIT PANEL, SMOOTH, PRIMED FOR PAINT



SUNLITE COMMERCIAL EXTERIOR GRADE STRING
LIGHTS WITH LED EDISON BULBS



6" STEEL COLUMN POST WITH
DECORATIVE BASE & CAPITAL



SHERWIN WILLIAMS #SW7008
ALABASTER EXTERIOR GRADE
PAINT; PANEL SIDING & SOFFIT
PANELS

**** NOTE: ALL SIGNAGE TO BE
SUBMITTED SEPERATELY ****



MBCI STANDING SEAM METAL PANEL ROOFING
12" CLEAR, COLOR: MIDNIGHT BRONZE

URBANARCH ASSOCIATES
DRC SUBMITTAL
JOB: 24028
DATE: 10/01/24
SCALE: 1/4" = 1'-0"

LAKELAND GELATO
4826 Village Market Ln,
Lakeland, TN 38002

Urban
ARCH
associates, pc



MEMPHIS LIGHT, GAS, AND WATER ADDRESS ASSIGNMENT CERTIFICATE

Attn: Address Assignment, P.O. Box 430, Memphis, TN 38101. Phone: (901) 729-8620 Fax: (901) 729-8605

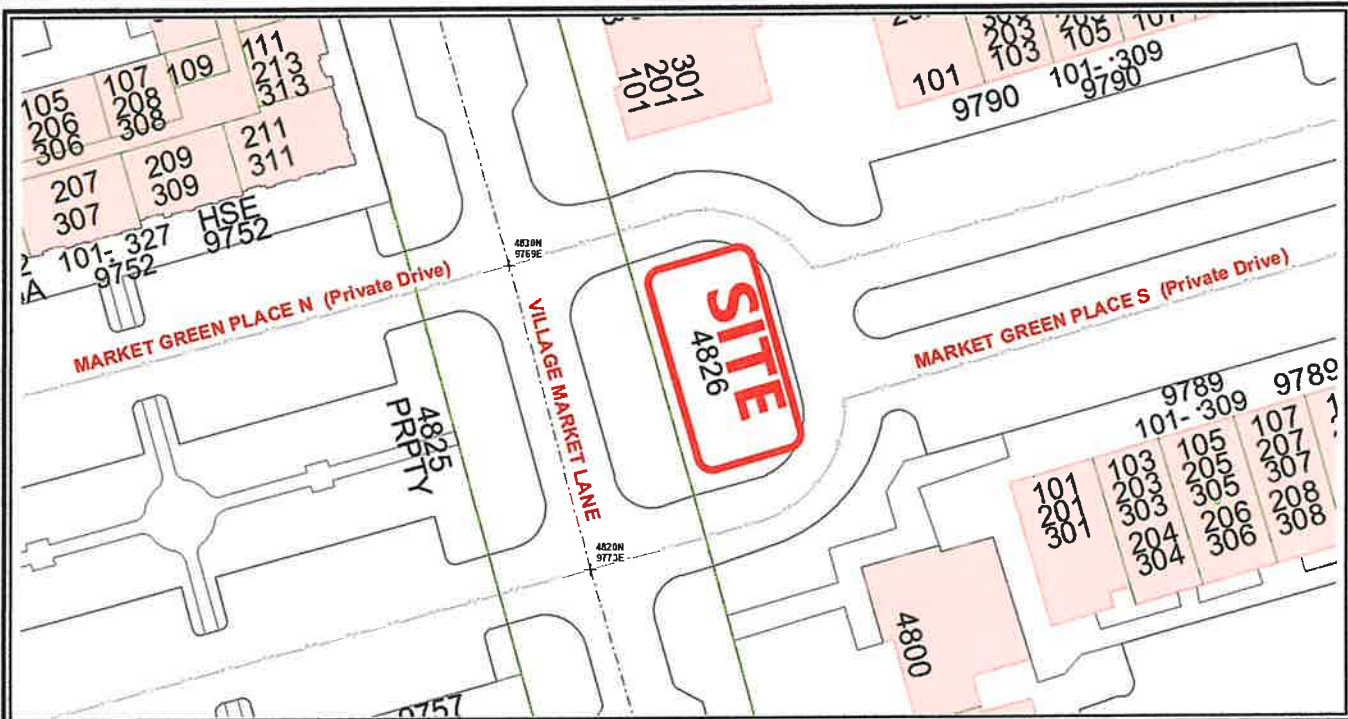
FULL ADDRESS: 4826 VILLAGE MARKET LN				Date Assigned: 08-08-2024	
Street #: 4826	Pre Dir:	Str Name: VILLAGE MARKET	Suffix: LN	Post Dir:	
Unit Type:	Unit #:	Dwell Type:	City: ARLINGTON	ZIP: 38002	Town:(location): LAKELAND

Development Name:	LAKELAND COMMONS	Phase: 2	Lot #: N/A
Property Description:	"PROPOSED GELATO OUTPARCEL"		Parcel ID: N/A

Requested By:	Ridge Bass	Phone:	901-585-4448
Contact Email:	rbass@montgomerymartin.com		
Company:	Montgomery Martin Contractors, LLC	Fax:	N/A

Current Owner:	Lakeland Commons - Phase 2, LLC		
Owner Email:	Vince Smith	Owner Cell:	N/A
Owner Phone:	901-489-5896	Fax:	N/A
Present Address:	355 Tara Lane	City:	Memphis
State:	TN	Zip Code:	38103
Address Assignment Representative:	GINA BANNERMAN 		

Remarks: ADDRESS FOR COMMERCIAL BUILDING LOCATED IN LAKELAND, TN 38002



NOTE: Use the "Full Address" shown at the top of this form when submitting requests for MLGW utility services or local building/construction code permits.

Meeting Date: Thursday, October 10, 2024

Project: Lakeland Commons Planned Development, Area B, Lot 9 - Site Plan Application

Staff Contact: Alex Barthol, Staff Planner

PROJECT INFORMATION

Location: Area B Lot 9 of the Lakeland Commons PD

Parcel ID: L0150 00568

Zoning District: AG (Agriculture) with PD (Planned Development) overlay

Site Area: .283 acres

Applicant: Vince Smith, Lakeland Commons, LLC

Representative: Cory Brady, PLA, AICP

STAFF RECOMMENDATION

City Staff recommends approval of the Lakeland Commons Planned Development, Area B, Lot 9 Site Plan application as submitted.

BACKGROUND

The Lakeland Commons Planned Development was originally approved in September of 2011 as a mixed-use development. Area D was amended in 2015 to replace the single family uses with a vertically integrated mixed-use concept of retail, office and multi-family residential. The BOC approved a Development Contract for Lakeland Commons PD, Phase 1 in May of 2019. Phase 2 was approved in March of 2022.

DISCUSSION

The applicant is requesting approval of a Site Plan application for a pavilion on Lot 9 of Area B of the Lakeland Commons Planned Development. The application includes engineering and architectural plans for the proposed pavilion, as well as associated landscape plans. This pavilion will serve as a community gathering space to provide a sense of place in the development and to host public events such as a farmers market or crafts fair. All associated parking is to be provided by the existing spaces in phase 2 of the development.

City Staff has reviewed the approved Outline Plan for Lakeland Commons and found that the Site Plan generally complies with the standards for Area B Lot 9 of the Outline Plan.

EXAMPLE MOTIONS

1. Motion to approve the Lakeland Commons Planned Development, Area B Lot 9, Site Plan subject to the following conditions:
 - a. Conditions as determined by the Planning Commission
 - b. Conditions listed in the Staff Report
2. Motion to approve the Lakeland Commons Planned Development, Area B Lot 9, Site Plan without conditions.
3. Motion to deny the Lakeland Commons Planned Development, Area B Lot 9, Site Plan:
 - a. Reason for denial



Application for Site Plan Approval

Case No. _____ Date of Application September 5, 2024

Name of Applicant Lakeland Commons, LLC (Vince Smith Jr.)

Address 355 Tara Ln., Memphis, TN 38111

Daytime Telephone Number (901) 489-5896 Fax Number _____

E-mail kakivs@gmail.com

Name of Property Owner Applicant

Address _____ Telephone Number _____

Name of Project Planning/Engineering Firm Integrated Land Solutions, PLLC

Name of Project Manager or Contact Person Cory Brady, PLA, AICP

Address 9967 Bentwood Creek Cv., Collierville, TN 38017

Telephone Number (901) 493-6996 Fax Number _____

E-mail corybrady@gmail.com

Name of Development Lakeland Commons, PMUD Parcel ID# L0150 00568

Location of Development Area B, Lot 9

Acreage 0.283 Acres Zoning District(s) PMUD (AG) Multiple Phases? _____ Check if YES

Total Gross Building Area _____ Floor Area Ratio (FAR) _____ No. of Parking Spaces Shared (Ex)

Amount of Open Space N/A Acres Open Space as Percent of Total Acreage N/A %

Have any variances been granted by the Board of Zoning Appeals? _____ If yes, provide description and date(s).

Approval requested (Check One): Preliminary ☐ Final ☒

Date of Preliminary Site Plan approval, if applicable _____


Applicants Signature

Sept. 26. 2024
Date

Property Owners Signature (if different from applicant)

Date

CITY OF LAKELAND
10001 Highway 70
Lakeland, TN 38002
Office: (901) 867-2716 Fax: (901) 867-2063
Email: Lwest@lakelandtn.org

www.lakelandtn.gov

PRE-APPLICATION CONFERENCE WITH CITY STAFF

At least thirty (30) days prior to filing any application for a Planned Development, the prospective applicant shall request a pre-application conference with the City.

SUBMITTAL AND MEETING TIMELINE

All applications must be submitted Thirty (30) days prior to the meeting of the Municipal Planning and Design Review Commission (MPDRC). The MPDRC meets on the second Thursday of every month unless otherwise posted. For the initial submittal, Three full size plan sets (24" x 36") as well as a digital copy of the application and accompanying plans are required. Additional plan sets may be required after subsequent staff review.

FEES

Municipal Planning Commission

<u>0 — five (5) acres</u>	\$500.00
<u>Six (6) — ten (10) acres</u>	\$750.00
<u>Over ten (10) acres</u>	\$1,000.00

Design Review Commission

<u>Less than one (1) acre</u>	\$200.00
<u>One (1) — two (2) acres</u>	\$300.00
<u>More than 2 acres</u>	\$400.00+\$20.00/ acre
<u>sign/fence</u>	\$100.00
<u>Appeal to DRC</u>	\$200 (Ord. 09-138)

INTEGRATED LAND SOLUTIONS, pllc

planning ▪ design ▪ landscape architecture

September 25, 2024

Paul Luker, AICP
Planning Director
City of Lakeland
10001 Highway 70
Lakeland, TN 38002

Re: Request for Site Plan Approval
Lakeland Commons Planned Mixed-Use Development (Lot 9, Area B)

Mr. Luker,

On behalf of the property owner and developer, I am requesting final site plan approval to permit an open-air, wood structured pavilion upon Lot 9, Area B of the Lakeland Commons PMUD as recorded in PB 296, PG 16 at the Shelby County Registers Office. The MLGW assigned address is 9791 Shady Village Lane. The proposed pavilion represents the final phase of development for the Lakeland Town Square. Upon approval and completion of construction, Lot 9, as improved, will be transferred to the City of Lakeland in accordance with all prior resolutions.

Please find enclosed the architectural elevations, materials composition, and landscape specifications for your review. Aside from minor cut and shift, no major grading or drainage improvements are required or proposed. The wood framed structure will be erected "on-grade" with no need for sewer, water or gas connection. Ambient lighting will be provided by a series of low voltage LED "string lights" as illustrated on the architectural renderings and the surrounding parking areas are adequately lighted by existing fixtures. Parking for the proposed business will be provided through the facility's existing shared parking arrangement with no additional spaces necessary. The landscape requirements outlined by the Lakeland Commons PMUD are met and a automated irrigation system will be installed accordingly.

Again, on behalf of the property owner and applicant, we look forward to discussing this proposal with staff and planning commission. If you should have any questions please do not hesitate to contact me at corybrady@gmail.com_or (901) 493-6996.

Respectfully,



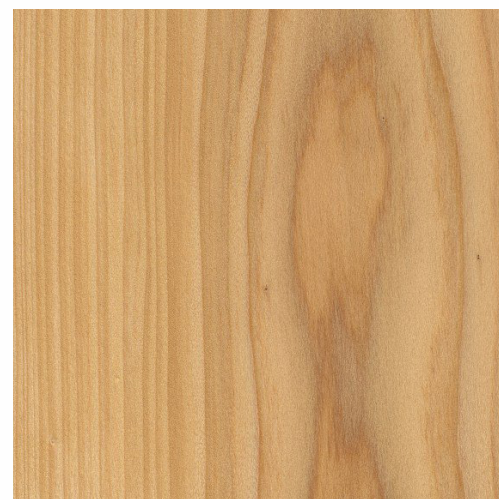
Cory Brady, PLA, AICP
Integrated Land Solutions, pllc



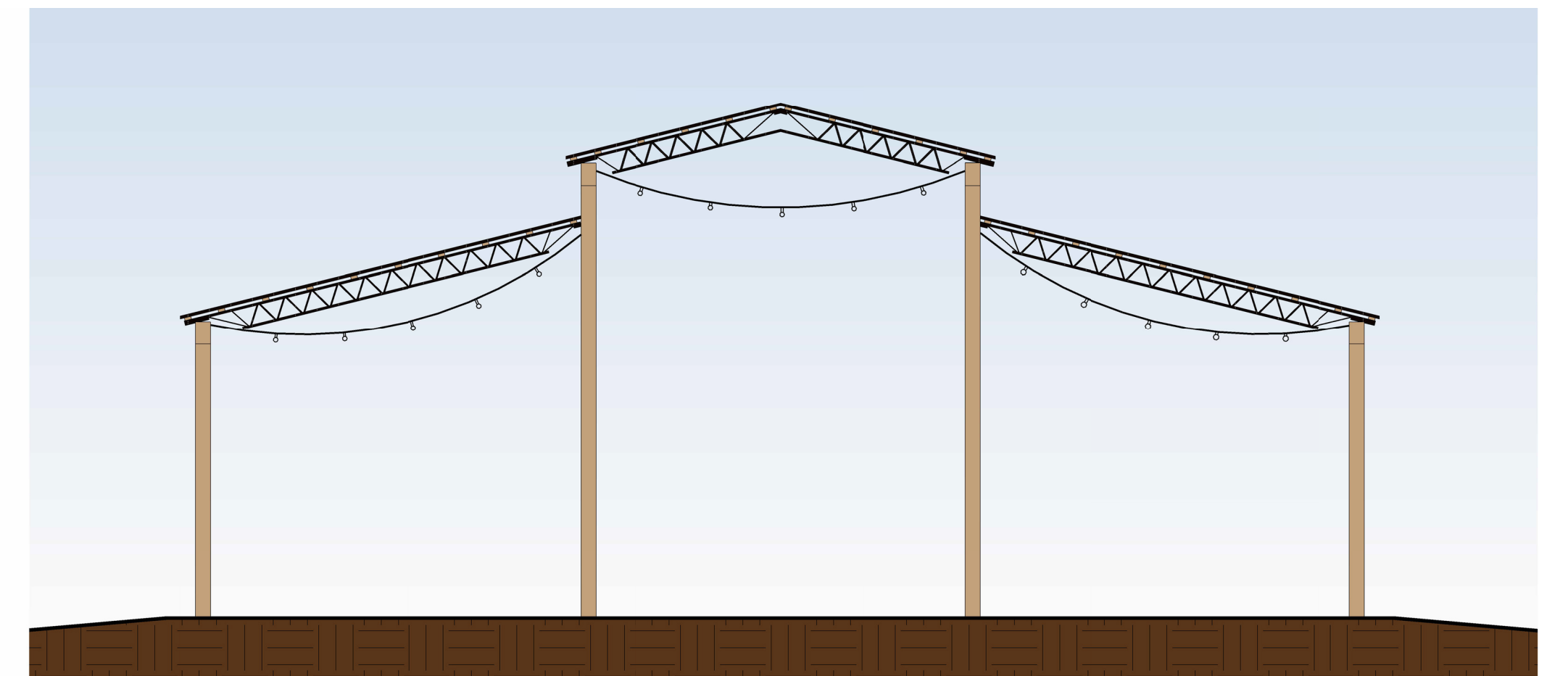
EXTERIOR GRADE
STRING LIGHTS



MBCI STANDING SEAM
METAL PANEL ROOFING
12" CLEAR, COLOR:
MIDNIGHT BRONZE

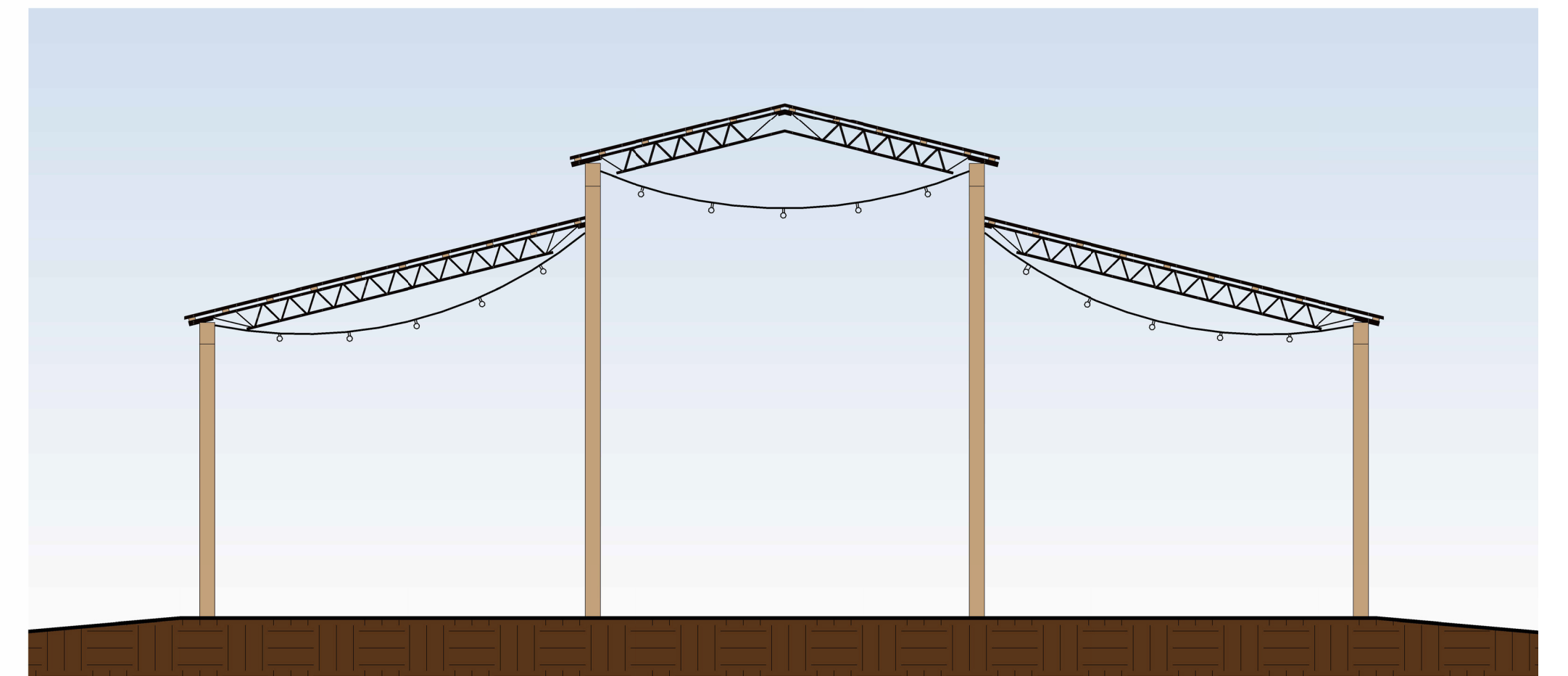


HEAVY TIMBER COLUMNS



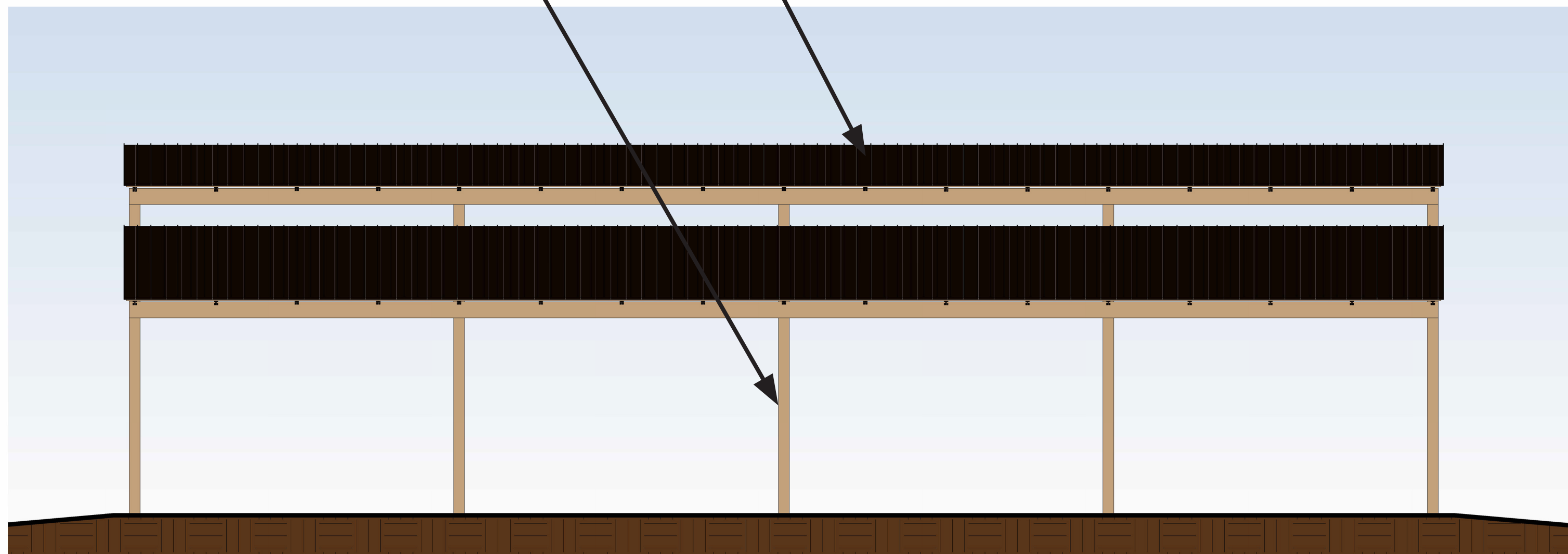
ELEVATION - WEST

1/8" = 1'-0"

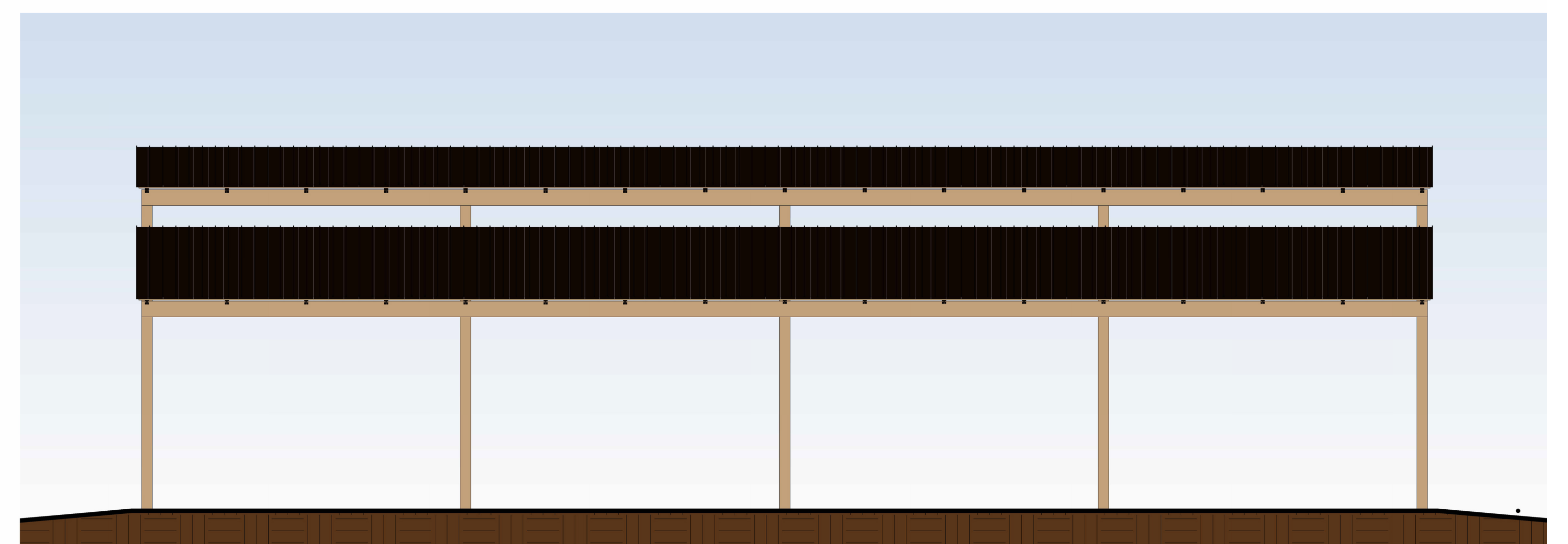


ELEVATION - EAST

1/8" = 1'-0"



ELEVATION - NORTH



ELEVATION - SOUTH

URBANARCH ASSOCIATES
DRC SUBMITTAL
JOB: 24033
DATE: 09/10/24
SCALE: 1/8" = 1'-0"

LAKELAND PAVILION

LOT 9 AREA B SHADY VILLAGE LANE
LAKELAND COMMONS PH.2
LAKELAND, TN 38002

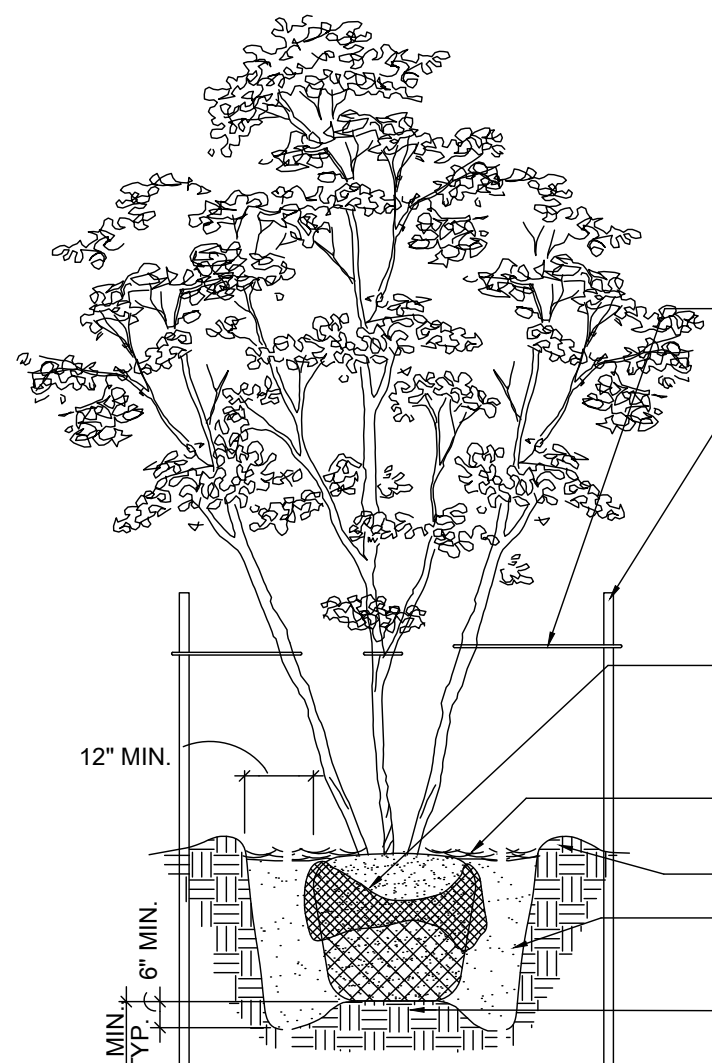
Urban
ARCH
associates, pc

GENERAL NOTES

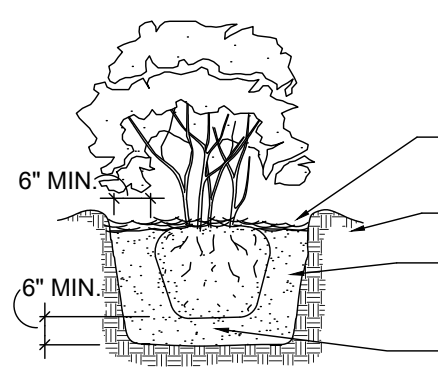
- This landscape plan was prepared using data provided by other professionals. This landscape plan intended to provide tree, shrub, and groundcover specifications only. Please refer to the civil engineer's and/or architect's plans as necessary for site related details and specifications. No guarantee of accuracy pertaining to the site plan elements illustrated is expressed or conveyed.
- All plant material shall conform to the standards of the "American Standard For Nursery Stock" as published by the American Association of Nurserymen.
- All trees, shrubs and ground covers shown on the landscape plan shall be installed as the species specified in the plant schedule unless requested in writing by the owner who reserves the right to substitute similar plant material. Subject to approval by the municipality.
- The landscape architect and the owner reserves the right to reject any or all planting materials which in their opinion do not appear to fit for this planting installation.
- Any substitutions or changes must be approved by the landscape architect.
- The plant quantities illustrated on the plan shall supersede the quantities listed in the plant schedule. The contractor shall be responsible for verification of plant quantities.
- Plant spacing is approximate. Space all shrubs equally to fill the intended space using the quantity illustrated.
- Plant sizes are minimums. The contractor shall meet all size requirements listed. No undersized plant material will be accepted. Any substitutions must be approved by the owner, landscape architect, and municipality.
- The landscape contractor shall locate a source for all planting materials prior to submitting a bid. A minimum of 1 in 10 plants of each plant species shall have a label attached providing the common and scientific name of said plant.
- All plants shall be vigorous, healthy material free of pests and disease. Use appropriate fertilizers in recommended quantities.
- The landscape contractor shall provide a one-year warranty on all materials from date of installation. The landscape contractor or the owner's designee shall be responsible for maintenance for one year. The name and contact information for the responsible party must be on file with the landscape inspector. The property owner is required by municipal ordinance to maintain the landscaping and grassed areas in good condition, thereafter.
- It is the landscape contractor's responsibility to verify with the general contractor that the subgrade preparation has been completed and four (4) inches of topsoil has been placed on all proposed lawn areas and planting beds. The landscape contractor shall not begin any planting / installation until the general contractor has completed the subgrade work and the topsoil has been installed.
- Any material that dies or defoliates prior to acceptance of the work will be promptly removed and replaced. Replacements shall also be guaranteed for a period of one year from date of installation.
- Utility locations illustrated are conceptual. The landscape contractor shall have all utilities located and identified prior to installation of any plant materials. Landscape material shall be adjusted accordingly where conflicts exist.
- The contractor assumes responsibility for any damages to such utilities incurred by his company. One Call= 811
- Prior to installation of sod, all proposed lawn areas shall be disked and raked smooth to a uniform grade as shown on the grading plan, be free of weeds and other debris, and the area fertilized as specified. After installation, sod shall be rolled at a sufficient rate to promote adequate root growth. All sod shall be laid within 24 hours of arriving at the site.
- Prior to the installation of any plant material, all bed areas shall be amended to provide a planting soil mix composed of 2/3 existing topsoil and 1/3 pro-mix, garden mix or equal. If the existing soil is composed of primarily clay, the existing soil shall be removed at a depth of 18" and replaced with pro-mix, garden mix or equal and tilled under to a 24" depth.
- A pre-emergent herbicide shall be applied to all shrub beds prior to the installation of plant material. The herbicide is to be applied per manufacturer's specifications and all state and local codes. Advise the owner of herbicide type and quality prior to application.
- Adjustments may be made to the plan to adapt to actual field conditions, avoid utility conflicts, or the obstruction of the sight triangle at access points or intersections.
- Mulch tree and shrub planting areas 3" deep immediately after installation. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.
- All plantings shall be thoroughly watered at the time of planting and as often thereafter as needed to keep the vegetation adequately hydrated.
- Stake / guy all trees only when necessary. When high winds or other conditions occur, the landscape contractor shall take whatever precautions he deems necessary to protect the survival and appearance of the plants. All ties must be removed at the end of the one-year warranty period.
- A 6-inch shovel cut bed edge shall be maintained along all landscape bed and tree well perimeters.
- No shrub or tree shall be planted within 3 feet of any fire hydrant, electrical transformer or mechanical unit. Adjust plant material as necessary accommodate actual field condition.
- Seasonal color and groundcover quantities refer to square footage. Space as required for species.
- Any areas that are not specified for plant material shall be covered with seed or sod as specified, including the area between the property line and the edge of pavement. These areas shall be properly loosened and amended to promote growth.
- Any banks, drainage ditches, or swales, must have a finished grade, be stabilized with sod, erosion control mat, stand of grass from seed or other approved technique, provide positive drainage with no pooling, and be easily maintained post construction. Coordinate with civil engineering plans and specifications.
- The contractor shall strictly follow ordinances, approved plans, planting details and notes.
- Adjust planting beds as needed to provide for and maintain proper positive drainage.
- All disturbed areas shall be seeded or sodded as specified.
- All ground mounted equipment or meters must be screened by landscaping, fencing or other approved measures to the satisfaction of staff, unless the equipment is required to maintain visibility and access, or adhere to other codes. Additional plant material may be required to screen utility equipment not shown on these plans.
- A fully automated, professionally designed irrigation system shall be installed having proper head to head coverage.
- Keep all irrigation lines and apparatus and landscape materials within the property boundaries, and out of city right-of-way. Except as otherwise required.
- Adjust irrigation spray to limit waste of water and prevent spray into street.
- Backflow preventers shall be located in the general location illustrated on the landscape plan. Incorporate the lowest profile cover available and screened with evergreen shrubs. Faux stone covers shall be prohibited.**

LINE & CURVE DATA:

TAG	LENGTH	DIRECTION	RADIUS	DELTA	CH LENGTH	CH DIRECTION
(L1)	16.50'	S 15° 30' 29" E				
(C1)	71.27'		282.50'	14° 27' 15"	71.08'	S 73° 45' 49" W
(C2)	3.93'		2.50'	89° 59' 59"	3.54'	S 60° 30' 29" E
(C3)	22.78'		14.50'	89° 59' 45"	20.51'	N 29° 29' 39" E



MULTI-TRUNK TREE



SHRUB

SITE DATA:

TOTAL SITE AREA: 12,322 SF/ 0.283 AC
BUILDING AREA: ±4,212 SF
FLOOR AREA RATIO: 0.34

PLANT SCHEDULE

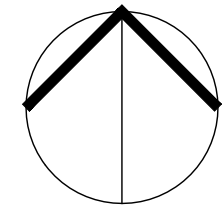
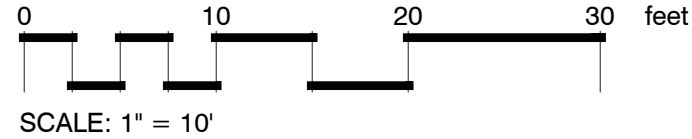
CODE	QTY	COMMON / BOTANICAL NAME	SIZE	ROOT	REMARKS
TREES					
AA2	2	Autumn Blaze Freeman Maple / Acer x freemanii 'Jeffersd' TM	2" Cal.	B&B	
CO	1	Oklahoma Redbud / Cercis canadensis texensis 'Oklahoma'	1.5" Cal.	B&B	
PY	3	Yoshino Cherry / Prunus x yedoensis	1.5" Cal.	B&B	
QP	4	Willow Oak / Quercus phellos	2" Cal.	B&B	
SHRUBS					
HO	14	Stella de Oro Daylily / Hemerocallis x 'Stella de Oro'	1 gal.	Pot	18" o.c.
IS5	6	Soft Touch Japanese Holly / Ilex crenata 'Soft Touch'	3 gal.	Pot	24" o.c.
GROUND COVERS					
SOD	13,361 sf	Bermuda Grass / Cynodon dactylon '419 Hybrid'		sod	

DRAFT

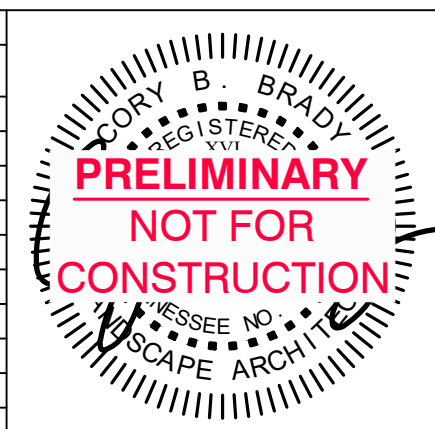
NOTE:
THIS PLAN IS INTENDED TO SPECIFY PLANT MATERIAL ONLY. REFER TO ARCHITECTURAL AND/OR CIVIL ENGINEERS PLANS FOR ALL SITE AND/OR BUILDING ELEMENTS SHOWN.



INTEGRATED LAND SOLUTIONS, PLLC
9967 Bentwood Creek Cv. Collierville, Tn 38017
901.493.6996 corybrady@gmail.com



REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



LAKELAND COMMONS, PMUD
AREA B, LOT 9
LAKELAND COMMONS, LLC 355 TARA LANE MEMPHIS, TN 38111

UTILITY LEGEND (Where Applicable)

- SS = SANITARY SEWER SERVICE LINE
- G = NATURAL GAS LINE
- E = ELECTRIC LINE
- W = WATER MAIN LINE
- W = FIRE PROTECTION LINE
- SD = STORM DRAIN
- SD = STORM DRAIN MANHOLE
- SS = SANITARY SEWER MANHOLE
- FH = FIRE HYDRANT
- T = ELECTRICAL TRANSFORMER

SHEET 1 OF 1
DIVISION OF PLANNING

LANDSCAPE PLAN

4826 VILLAGE MARKET LANE
LAKELAND, TENNESSEE

SURVEY: MLS DATE: 05-20-15
DESIGNED BY: ILS, PLLC
DRAWN BY: CBB DATE: 09/25/2024 BOOK:
CHECKED BY: CBB DATE: 09/25/2024 SCALE: 1" = 10'-0"

HATCH LEGEND

	MEMPHIS ARLINGTON ROAD 47,890 S.F.		STREAMSIDE MANAGEMENT BUFFER 244,372 S.F.
	VILLAGE MARKET LANE 90,536 S.F.		15 FT. PR. DRAINAGE EASEMENT
	SHADY VILLAGE LANE 55,957 S.F.		

SYMBOL LEGEND:

	PROPERTY CORNER
	FIRE HYDRANT

NOTE:

1. REFER TO PROPERTY OWNERS' ASSOCIATION DECLARATION, RECORDED IN THE SHELBY COUNTY REGISTER'S OFFICE UNDER INSTRUMENT NUMBER _____ FOR PRIVATE INFRASTRUCTURE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES, ARCHITECTURAL CONTROLS/COMMITTEES, AND PRIVATE COVENANTS, CONDITIONS AND RESTRICTIONS.
2. LOT 8 AND LOT 9 ARE DESIGNATED FOR CIVIC USE UNLESS OTHERWISE APPROVED BY THE CITY OF LAKEAND BOARD OF COMMISSIONERS.
3. REFER TO THE APPROVED LAKEAND COMMONS PLANNED MIXED USE DEVELOPMENT OUTLINE PLAN ON FILE WITH THE CITY OF LAKEAND.
4. THERE IS A 5' UTILITY EASEMENT ADJACENT TO ALL SIDE AND REAR LOT LINES WITH THE EXCEPTION OF THOSE SIDE LOT LINES WITH PUBLIC DRAINAGE EASEMENTS.
5. CONSTRUCTED DRIVEWAYS ON ALL INDIVIDUAL LOTS WILL SERVE THE DUAL FUNCTION OF PROVIDING MLG&W AN 'ACCESS EASEMENT' ACROSS THE 9' STREET TREE EASEMENT ON EACH LOT. ACCESS EASEMENTS ARE NOT GRAPHICALLY SHOWN ON THIS PLAT.
6. 50 FT. LANDSCAPE BUFFER SHALL BE SCENIC CORRIDOR BUFFER PRIVATELY MAINTAINED.
7. STREAMSIDE MANAGEMENT BUFFER (SMB) - THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE CITY OF LAKEAND. REFER TO CITY OF LAKEAND LAND DEVELOPMENT REGULATIONS SECTION III.12.

NOTE: THE AREAS DENOTED AS "RESERVED FOR STORMWATER DETENTION" MAY NOT BE ALTERED WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION FROM THE CITY OF LAKEAND DEPARTMENT ON ENGINEERING. THE STORMWATER DETENTION SYSTEM LOCATED IN THIS AREA SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED DRAINAGE PLANS ON FILE IN THE CITY OF LAKEAND DEPARTMENT OF ENGINEERING. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING AND REPAIR OF DRAINAGE STRUCTURES.

PRIOR TO APPROVAL OF THE FINAL PLAT, AN AS-BUILT SURVEY OF THE DETENTION POND SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR. THE DEVELOPER'S ENGINEER SHALL SUBMIT THE AS-BUILT SURVEY WITH CALCULATIONS OF THE INCREMENTAL STORAGE AREA AND VOLUME AT MINIMUM 1' ELEVATION INCREMENTS, ALONG WITH A COMPARISON TO THE DESIGN INFORMATION PROVIDED IN THE DRAINAGE REPORT. THE ENGINEER SHALL SUBMIT A LETTER AND SUPPORTING MATERIALS TO THE CITY ENGINEER, DOCUMENTING THE AS-BUILT FUNCTIONALITY OF THE DETENTION POND.

SCOTTS CREEK

MEMPHIS-ARLINGTON ROAD
(R.O.W. VARIES)

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

U.S. HIGHWAY NO. 70
(R.O.W. VARIES)LOT 7 AREA A
P.B.288, PG 27LOT 6 AREA A
P.B.288, PG 27LOT 5 AREA A
P.B. 288, PG 27LOT 4 AREA A
P.B.288, PG 27LOT 3 AREA A-1
P.B.288, PG 27LOT 8 AREA B
35,402 S.F.
0.81 AC.LOT 9 AREA B
12,322 S.F.
0.283 AC.LOT 2
(LAKEAND COMMONS
AREAS B & C
446,565 S.F.
10.25 AC.)TWIN OAKS CHURCH
OF CHRIST
INST. NO. 05001216SEED TICK ROAD
(R.O.W. VARIES)

15 FT L/S ESMT.

25 FT S/B &
L/SCAPE ESMT.LAWRENCE S. HAMILTON
AND WIFE
JOAN E. HAMILTON
INST. NO. 03224420

FINAL PLAT

LAKEAND COMMONS PLANNED MIXED USE DEVELOPMENT AREA B & D - PHASE 2

LAKEAND, TENNESSEE

DIST. 01- BLOCK 50- PARCEL 479

TOTAL AREA: 1,510,456 SF, (34.68 ACRES)

TOTAL LOTS: 8, EX. ZONING: AG (PMUD Overlay)

DATE: APRIL, 2022 SCALE: 1"= 100'

DEVELOPER: LAKEAND COMMONS L.L.C.
ADDRESS: 355 TARA LANE,
MEMPHIS, TN 38111

Renaissance Group
architecture • engineering • planning • interiors
9790 Village Circle, Suite 100, Lakeland, TN 38002 | 901.352.5553 | www.rggroup.biz

THIS PROPERTY IS NOT LOCATED IN A 100 YEAR
FLOOD HAZARD AREA, ACCORDING TO FIRM PANEL
47157C-0215G, DATED FEB 6, 2013.

LAKELAND COMMONS-PH. 2 LOT CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	47.12'	30.00'	90°00'05"	42.43'	S68°27'46"E
C2	103.54'	162.00'	36°37'11"	101.79'	S5°09'08"E
C3	20.70'	238.00'	4°58'58"	20.69'	S10°39'58"W
C4	98.36'	238.00'	23°40'42"	97.66'	S3°39'52"E
C5	128.35'	523.00'	14°03'39"	128.03'	S22°32'03"E
C6	106.77'	462.00'	13°14'30"	106.54'	S22°56'38"E
C7	47.50'	14416.60'	0°11'20"	47.50'	S73°59'54"W
C8	338.89'	5190.00'	3°44'28"	338.83'	S72°13'20"W
C9	339.13'	1527.00'	12°43'29"	338.43'	S63°59'21"W
C10	58.66'	1527.00'	2°12'03"	58.65'	S56°31'35"W
C11	157.18'	5100.00'	1°45'57"	157.18'	S56°18'32"W
C12	81.98'	14416.60'	0°19'33"	81.98'	N73°26'20"E
C17	71.27'	282.50'	14°27'15"	71.08'	S73°45'49"W
C18	171.39'	323.09'	30°23'38"	169.39'	S81°51'18"W
C19	32.99'	21.00'	90°00'01"	29.70'	N40°32'32"W
C21	109.95'	559.50'	11°15'35"	109.77'	N67°10'11"E
C22	31.20'	21.00'	85°06'48"	28.41'	S46°00'44"E
C23	83.10'	238.00'	20°00'23"	82.68'	S13°27'32"E
C24	47.12'	30.00'	89°59'55"	42.43'	S21°32'14"W
C30	94.50'	217.50'	24°53'41"	93.76'	N78°59'02"E
C31	161.14'	5127.00'	1°48'03"	161.14'	N56°19'35"E
C32	390.75'	1500.00'	14°55'32"	389.65'	N62°53'19"E
C33	337.13'	5163.00'	3°44'28"	337.07'	N72°13'20"E
C34	198.98'	14443.60'	0°47'22"	198.98'	N73°41'53"E
C35	76.00'	14416.60'	0°18'07"	76.00'	N73°45'10"E
C36	117.42'	597.50'	11°15'35"	117.23'	N67°10'11"E
C39	3.93'	2.50'	89°59'59"	3.54'	S60°30'29"E
C40	22.78'	14.50'	89°59'45"	20.51'	N29°29'39"E
C41	44.61'	162.00'	15°46'38"	44.47'	S7°36'54"E
C42	33.41'	21.00'	91°09'27"	30.00'	S45°51'09"W
C43	51.48'	282.50'	10°26'25"	51.41'	S86°12'39"W
C44	3.02'	14.50'	11°54'52"	3.01'	N21°27'39"W
C45	186.40'	382.50'	27°55'16"	184.56'	N80°29'50"E
C46	32.99'	21.00'	89°59'59"	29.70'	N49°27'28"E
C47	109.70'	447.00'	14°03'39"	109.42'	S22°32'03"E
C48	124.34'	538.00'	13°14'30"	124.06'	S22°56'38"E

LAKELAND COMMONS - PH. 2 LOT LINE TABLE			LAKELAND COMMONS - PH. 2 LOT LINE TABLE			LAKELAND COMMONS - PH. 2 LOT LINE TABLE		
LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L1	74.97'	N26°11'49"W	L21	49.80'	N7°36'28"E	L47	72.98'	N72°47'59"E
L2	111.04'	N24°00'16"E	L22	65.16'	N53°53'05"E	L48	57.52'	N61°32'24"E
L3	84.36'	N11°06'38"W	L23	20.53'	N14°45'00"E	L49	38.00'	N85°58'13"W
L4	79.45'	N38°15'18"E	L24	29.35'	N30°50'26"W	L50	38.00'	S85°58'13"E
L5	87.89'	N53°45'39"E	L25	44.14'	N30°50'26"W	L54	10.00'	S23°27'49"E
L6	86.80'	N31°45'37"E	L26	27.63'	N20°56'51"W	L55	24.00'	S23°27'49"E
L7	58.77'	N23°57'28"E	L27	110.59'	N15°44'48"W	L56	58.05'	S13°48'44"E
L8	60.92'	N18°02'28"E	L28	21.00'	N23°27'49"W	L57	146.70'	N74°31'10"E
L9	27.94'	N51°26'20"E	L29	57.55'	S23°27'43"E	L58	143.27'	S15°29'58"E
L10	84.96'	N84°57'08"E	L30	0.81'	S13°09'27"W	L59	65.47'	N73°04'24"E
L11	53.84'	N54°53'24"E	L31	81.30'	S16°19'23"E	L60	142.38'	S15°37'52"E
L12	134.45'	N35°11'40"E	L34	72.94'	N66°32'11"E	L61	47.75'	S15°30'03"E
L13	67.28'	N73°25'06"E	L35	25.30'	S85°58'13"E	L62	57.05'	N74°29'44"E
L14	21.73'	N29°09'20"E	L38	82.15'	S88°34'08"E	L63	16.50'	S15°30'29"E
L15	30.57'	N17°06'54"E	L39	57.55'	S23°27'43"E	L64	66.32'	N15°30'13"W
L16	51.57'	N15°40'26"E	L41	36.85'	N61°32'24"E	L65	113.00'	N74°29'32"E
L17	40.75'	N14°43'29"W	L42	71.75'	N72°47'59"E	L66	16.64'	S85°32'32"E
L18	55.17'	N42°39'21"W	L44	27.18'	N26°11'49"W	L67	116.79'	S66°32'11"W
L19	75.31'	N19°48'47"E	L45	27.87'	S2°23'36"E	L68	89.69'	N88°34'08"W
L20	133.84'	N6°06'02"E	L46	38.02'	S15°20'45"E			

LAKELAND COMMONS P.D. LOT AREA SETBACKS			
AREA	FRONT	SIDE	REAR
A	50-US 70 25-VML	20	25
A-1	50-US 70 25-VML	20	25
B	40-S.T. 10-SVL	20	20
C	50-M/A 9-VML	25	25
D	50-M/A 9-VML	20	ZONE 2 SMB

US 70 - U.S. HWY. 70
VML - VILLAGE MARKET LANE
SVL - SHADY VILLAGE LANE
M/A - MEMPHIS/ARLINGTON RD
ST - SEEDTICK RD.

LAKELAND COMMONS P.D. LOT AREAS		
LOT #	SIZE(acs.)	AREA
1	8.78	D
2	10.25	B & C
3	1.89	A1
4	1.02	A
5	1.22	A
6	1.22	A
7	1.67	A
8	0.81	B
9	0.28	B
10	7.54	D
TOTAL	34.68	

FINAL PLAT
**LAKELAND COMMONS PLANNED
MIXED USE DEVELOPMENT
AREA B & D - PHASE 2**

LAKELAND, TENNESSEE
DIST. 01- BLOCK 50- PARCEL 479
TOTAL AREA: 1,510,456 SF, (34.68 ACRES)
TOTAL LOTS: 8, EX. ZONING: AG (PMUD Overlay)

DATE: APRIL, 2022 SCALE: 1"= 100'

DEVELOPER: LAKELAND COMMONS L.L.C.
ADDRESS: 355 TARA LANE,
MEMPHIS, TN 38111

22047593-
04/27/2022 12:52:42 PM
BK 296 PG 16
Shelandra Y. Ford
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE



CERTIFICATE OF ENGINEER
State of Tennessee
County of Shelby

I, Wesley Woolbridge, a Professional Engineer, do hereby certify that the design of public and private improvements provided for in the Preliminary Plat / Construction Plans / Final Plat (whichever is applicable) are in accordance with acceptable engineering practices, the Tennessee Department of Environment and Conservation, City of Lakeland Manual for Public Works and Materials Specifications, and all City of Lakeland ordinances, including Subdivisions.

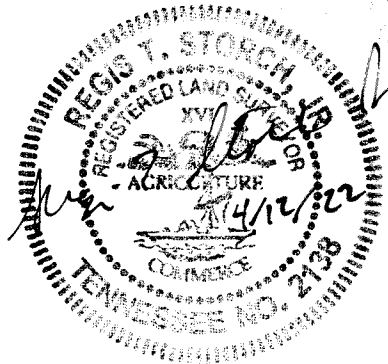
In witness whereof, I the said Wesley Woolbridge, a Professional Engineer, hereunto set out hand and affix my seal this 9th day of April, 2022.
Tennessee Registration No. 184878
Professional Engineer



CERTIFICATE OF SURVEYOR (EXTERIOR BOUNDARY ONLY)
State of Tennessee
County of Shelby

I, REGIS T. STORCH, JR., hereby certify that this plat was prepared from notes taken during an actual survey made by me during the month of DECEMBER, 2018, and that this Plat or Site Plan correctly represents said survey. All bearings are referenced to the 1983 Tennessee State Plane Coordinate System; all new property corners are marked in accordance with Lakeland Subdivision Standards; the precision of the unadjusted survey is 1:10,000 or greater and all special flood hazard areas are properly located as per the latest Flood Insurance Rate Map. All dimensions are expressed in feet and decimals. All bearings, distances, and field information are true and correct to the best of my knowledge.

In witness whereof, I the said REGIS T. STORCH, JR., a Land Surveyor, hereunto set out hand and affix my seal this 2th day of APRIL, 2022.
Tennessee Registration No. 2138



CERTIFICATE OF MUNICIPAL PLANNING COMMISSION APPROVAL -
SUBDIVISION

I, JEFF ADAMS, do hereby certify that the City of Lakeland Municipal Planning Commission has approved this Preliminary / Final Plat (whichever is applicable). The signing of this certificate shall in no way be deemed to constitute or effect an acceptance of the dedication of any street, improvement, or other ground shown upon the plat.

Date: 4/26/22
MPC Secretary Jeff Adams

CERTIFICATE OF CITY ENGINEER

Construction Plans are Inspected and Approved by the City Engineer
This 26th day of April, 2022.

City Engineer _____

CERTIFICATE OF MORTGAGEE AND DEDICATION

The undersigned mortgagee, Simmons Bank, hereby certify that they are the mortgagee of the foregoing property and that the plat is with the free consent and in accordance with the desires of the above named owners, proprietors, do hereby dedicate to the City of Lakeland all Public Improvements, Easements, or lands herein specifically identified for dedication, for the purposes of operation, construction and maintenance of these improvements, as needed for the proper development and maintenance of said Subdivision.

Date: 4/11/2022
Signature of Mortgagee Long Mark
Include Notary Seal and Signature

STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, the undersigned a notary public in and for the State and County aforesaid, duly commissioned and qualified, personally appeared Renaissance Group Center, subdivision, and he as such representative executed the foregoing instrument for the purpose therein contained by signing his name as representative of the mortgagee.

In witness whereof, I hereunto set out hand and affix my seal this 11th day of April, 2022.
Notary Public Shelandra Y. Ford
My Commission expires: 9/7/2022



CERTIFICATE OF OWNER(S) AND DEDICATION

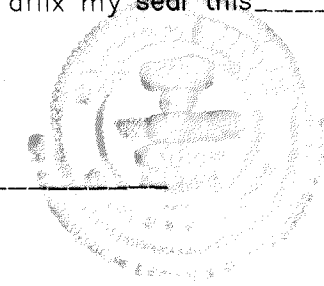
The undersigned owner, Lakeland Town Center, LLC, hereby certify that they are the owners of the foregoing property and that the plat is with the free consent and in accordance with the desires of the above named owners, proprietors, do hereby dedicate to the City of Lakeland all Public Improvements, Easements, or lands herein specifically identified for dedication, for the purposes of operation, construction and maintenance of these improvements, as needed for the proper development and maintenance of said Subdivision.

Date: April 11, 2022
Signature of Owner(s) Monty Smith
Include Notary Seal and Signature

STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, the undersigned a notary public in and for the State and County aforesaid, duly commissioned and qualified, personally appeared Renaissance Group Center, subdivision, and he as such representative executed the foregoing instrument for the purpose therein contained by signing his name as representative of the mortgagee.

In witness whereof, I hereunto set out hand and affix my seal this 11th day of April, 2022.
Notary Public Shelandra Y. Ford
My Commission expires: 9/7/2022



THE AREAS DENOTED AS "RESERVED FOR STORM WATER DETENTION" MAY NOT BE ALTERED WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION FROM THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING. THE STORM WATER DETENTION SYSTEM LOCATED IN THIS AREA SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED SO AS TO ENSURE THAT THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED DRAINAGE PLANS ON FILE IN THE CITY OF LAKELAND DEPARTMENT OF ENGINEERING. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH; MOWING; OUTLET CLEANING; AND REPAIR OF DRAINAGE STRUCTURES.

PRIOR TO APPROVAL OF THE FINAL PLAT, AN AS-BUILT SURVEY OF THE DETENTION POND SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR. THE DEVELOPER'S ENGINEER SHALL SUBMIT THE AS-BUILT SURVEY WITH CALCULATIONS OF THE INCREMENTAL STORAGE AREA AND VOLUME AT MINIMUM 1' ELEVATION INCREMENTS, ALONG WITH A COMPARISON TO DESIGN INFORMATION PROVIDED IN THE DRAINAGE REPORT. THE ENGINEER SHALL SUBMIT A LETTER AND SUPPORTING MATERIALS TO THE CITY ENGINEER, DOCUMENTING THE AS-BUILT FUNCTIONALITY OF THE DETENTION POND.

FINAL PLAT
**LAKELAND COMMONS PLANNED
MIXED USE DEVELOPMENT
AREA B & D - PHASE 2**

LAKELAND, TENNESSEE

DIST. 01- BLOCK 50- PARCEL 479

TOTAL AREA: 1,510,456 SF, (34.68 ACRES)

TOTAL LOTS: 8, EX. ZONING: AG (PMUD Overlay)

DATE: MARCH, 2022 SCALE: 1"= 100'

DEVELOPER: LAKELAND COMMONS L.L.C.
ADDRESS: 355 TARA LANE,
MEMPHIS, TN 38111

22047593-
04/27/2022 12:52:42 PM
BK 296 PG 16
Shelandra Y. Ford
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

Renaissance Group
architecture • engineering • planning • interiors
9700 Village Circle, Suite 100, Lakeland, TN 38002 (931) 902-3552 www.rgroup.biz